



North Carolina Department of Cultural Resources

State Historic Preservation Office

David L. S. Brook, Administrator

James B. Hunt Jr., Governor
Betty Ray McCain, Secretary

Division of Archives and History
Jeffrey J. Crow, Director

June 29, 2000

Marvin A. Brown
URS Greiner Woodward Clyde
3109 Poplarwood Court, Suite 301
Raleigh, NC 27604

Re: Piedmont Triad International Airport Historic Architectural Survey Report,
C100003713.02, Guilford County, ER 00-7300

Dear Mr. Brown:

Thank you for your letter of March 10, 2000, concerning the above project. We apologize for the delay in our response.

For purposes of compliance with Section 106 of the National Historic Preservation Act, we concur with the findings of the report concerning properties listed in the NRH and properties previously determined to be eligible and not eligible for the NR. We also concur that the following properties are not eligible for listing in the National Register of Historic Places:

House and Outbuildings (#1)
Bungalow (#2)
William Hiatt House (#3)
House (#4)
House (#5)
Bungalow (#6)
House and Outbuildings (#7)
Bungalow (#9)
House (#10)
Bungalow (#11)
House (#12)
House (#13)
Bungalow (#18)
Foursquare (#19)
Bungalow (#20)
Bungalow (#21)
Bungalow (#22)
House (#23)

| | Location | Mailing Address | Telephone/Fax |
|-------------------|-------------------------------|---|---------------------------|
| ADMINISTRATION | 507 N. Blount St., Raleigh NC | 4617 Mail Service Center, Raleigh NC 27699-4617 | (919) 733-4763 • 733-8653 |
| ARCHAEOLOGY | 421 N. Blount St., Raleigh NC | 4619 Mail Service Center, Raleigh NC 27699-4619 | (919) 733-7342 • 715-2671 |
| RESTORATION | 515 N. Blount St., Raleigh NC | 4613 Mail Service Center, Raleigh NC 27699-4613 | (919) 733-6547 • 715-4801 |
| SURVEY & PLANNING | 515 N. Blount St., Raleigh NC | 4618 Mail Service Center, Raleigh NC 27699-4618 | (919) 733-6545 • 715-4801 |

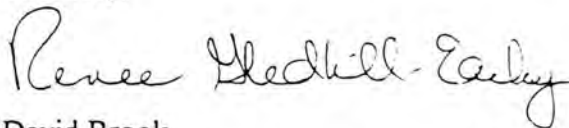
Page 2 of 2
Letter to Marvin Brown
Dated June 29, 2000

Bungalow (#24)
House (#25)
House (#26)
House (#27)
Bungalow (#28)
House (#29)
Bungalow (#31)
Bungalow (#32)
Talbert Building (#33)
Bungalow (#35)
Bungalow (#36)
House (#37)
Bungalow (#38)
House (#43)
House (#44)
House (#46)
House (#47)
House (#48)

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, please contact Renee Gledhill-Earley, Environmental Review Coordinator, at 919/733-4763.

Sincerely,



for David Brook
Deputy State Historic Preservation Officer

cc: Rick Barkus, NC DOT, Division of Aviation

bc: Brown/Montgomery
County
RF

**HISTORIC ARCHITECTURAL SURVEY REPORT
FOR THE
ENVIRONMENTAL IMPACT STATEMENT
FOR
PROPOSED RUNWAY 5L23R,
PROPOSED NEW FEDEX FACILITY
AND ASSOCIATED DEVELOPMENTS,
PIEDMONT TRIAD INTERNATIONAL AIRPORT,
GREENSBORO, NORTH CAROLINA**

Prepared For:

FEDERAL AVIATION ADMINISTRATION

Prepared By:

URS GREINER WOODWARD CLYDE, INC.

MARCH 2000

**HISTORIC ARCHITECTURAL SURVEY REPORT
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ENVIRONMENTAL IMPACT STATEMENT
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PROPOSED NEW FEDEX FACILITY,
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PIEDMONT TRIAD INTERNATIONAL AIRPORT,
GREENSBORO, NORTH CAROLINA**

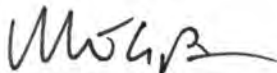
Prepared For:

FEDERAL AVIATION ADMINISTRATION

Prepared By:

URS GREINER WOODWARD CLYDE, INC.

MARCH 2000



**Marvin A. Brown
Principal Investigator**

3-10-00

Date

ABSTRACT

This report details the findings of an historic architectural survey conducted by URS Greiner Woodward Clyde, Inc. (URSGWC) for the Federal Aviation Administration. Work was initiated in response to proposed improvements to the Piedmont Triad International Airport in Greensboro, North Carolina, and the associated Environmental Impact Statement.

Research at the North Carolina State Historic Preservation Office (SHPO) identified 11 resources more than 50 years old within the project's Area of Potential Effect (APE) that had previously been inventoried. Two of these—the Guilford College Historic District and the Shaw-Cude House—are listed in the National Register of Historic Places. Three have been officially determined eligible for National Register listing—the New Garden Friends Cemetery, the Campbell-Gray Farm, and the Roy Edgerton House. Six other resources were previously inventoried and determined ineligible for National Register listing. Fieldwork in August and October, 1999, and March, 2000, for this project identified an additional 37 historic architectural resources more than 50 years old within the APE, bringing the total number of standing resources within the APE to 48. URSGWC believes that the Guilford College Historic District and Shaw-Cude House continue to merit listing in the National Register and that the New Garden Friends Cemetery, Campbell-Gray Farm, and Roy Edgerton House remain eligible for Register listing. URSGWC does not believe that any other historic architectural resources within the project's APE—either those previously determined ineligible or those newly inventoried—are eligible for National Register listing.

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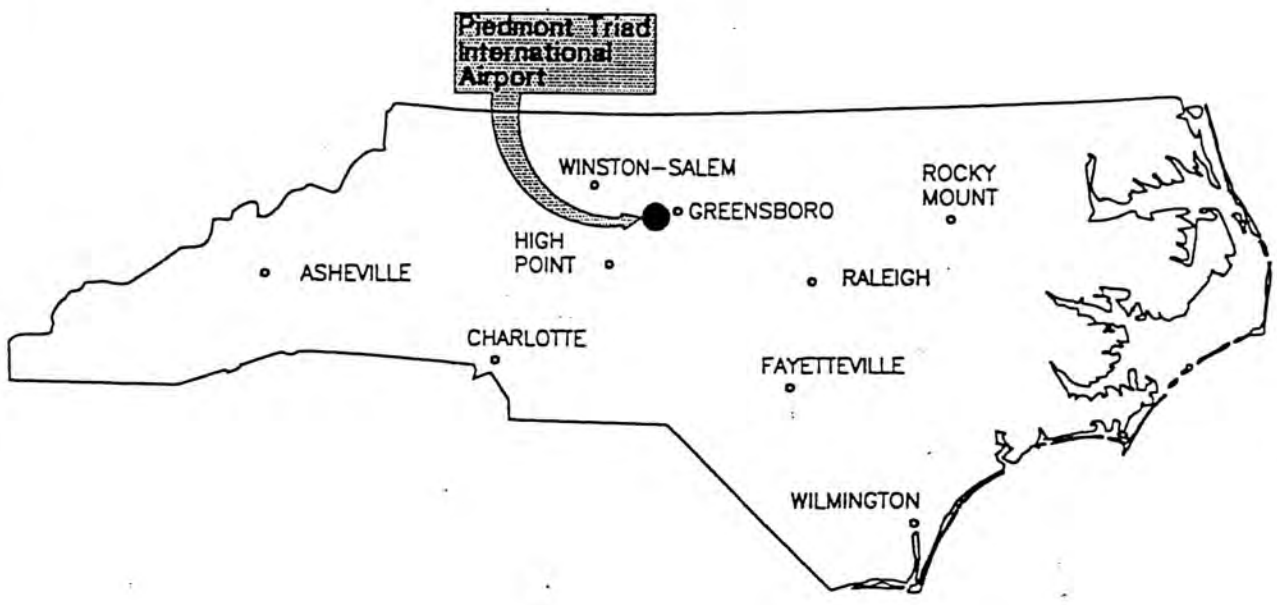
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I. INTRODUCTION AND PROJECT DESCRIPTION

In 1994, the Piedmont Triad Airport Authority (PTAA or Authority) approved the Piedmont Triad International Airport's (PTIA) Master Plan Update (Figure 1). Subsequent to the Authority's approval, the Federal Aviation Administration (FAA) accepted the PTIA Master Plan and granted conditional approval of the PTIA Airport Layout Plan (ALP), subject to environmental review of the proposed actions through the Environmental Impact Statement (EIS) process. The PTIA ALP, which reflects the existing and future facilities on the airport, is depicted on Figure 2. The Authority is proposing improvements to the PTIA on the ALP, including a new parallel Runway 5L/23R and several connected actions. Several components of the proposed improvements to the PTIA associated with the proposed action are depicted on Figure 3 and consist of the following:

- Construction of a new parallel 9,000-foot by 150-foot transport category runway capable of accommodating Airplane Design Group (ADG) D-IV air carrier aircraft;
- Extension of Taxiway "D";
- High Speed Exit Taxiway for existing Runway 5/23;
- Construction and operation of approximately 736,000 square feet for a FedEx Mid-Atlantic Hub facility;
- Construction and operation of approximately 174,000 square yards for a FedEx aircraft parking and cargo ramp;
- Construction of a tunnel for Bryan Boulevard under the proposed runway;
- Construction of two connector taxiway bridges over Bryan Boulevard;
- Relocation/closure of a portion of Regional Road;
- Construction of a new interchange at Old Oak Ridge Road and Bryan Boulevard;
- Relocation of a portion of Old Oak Ridge Road;
- Construction and operation of new airport entrance interchanges off Bryan Boulevard to the PTIA Terminal Area (modification of existing North Triad Boulevard and South Triad Boulevard);
- Initiation of actions to obtain US Army Corps of Engineers Section 404 permit and implementation of mitigation actions, and
- Implementation of air traffic procedures below 3,000 feet above ground level (AGL).

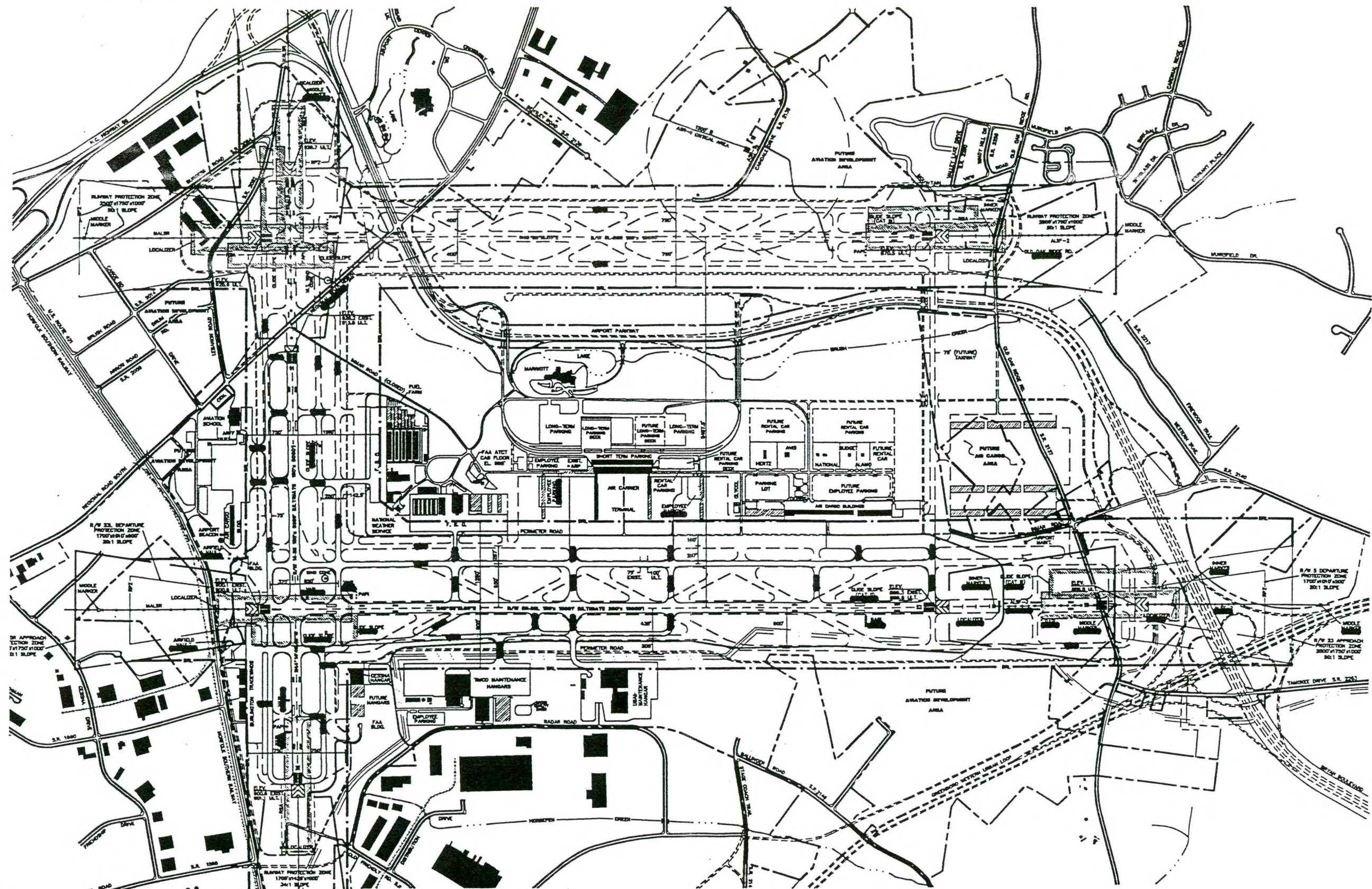
Variations on these improvements, associated with the No-Action Alternative, Alternative W2-A, Alternative W3-A, Alternative N-D, Alternative W1-A1, and Alternative N-E, are depicted at Figures 4 through 9.



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LOCATION MAP

FIGURE:
1
DATE: 5-21-99



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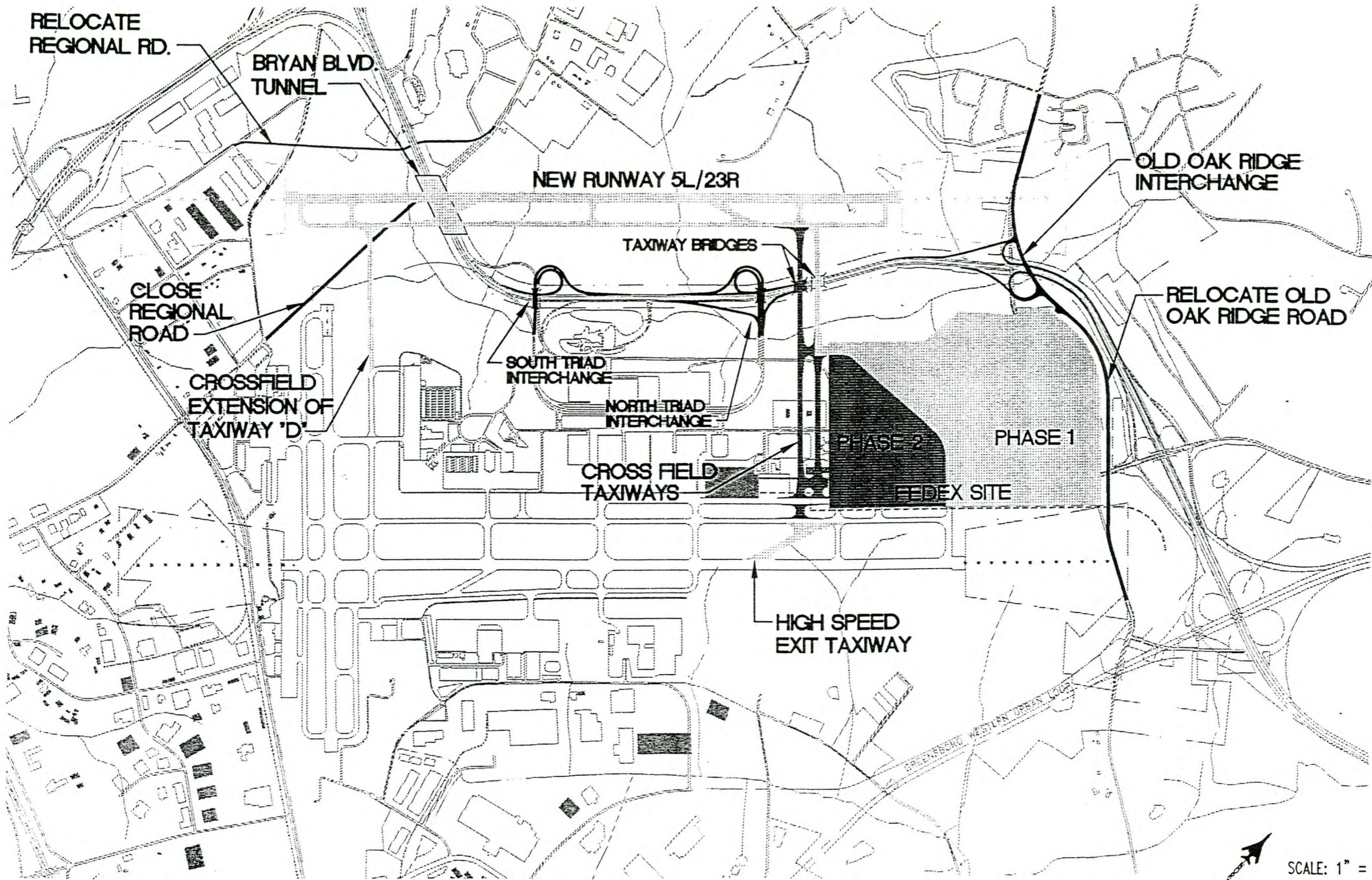
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PTIA AIRPORT LAYOUT PLAN



SCALE: 1" = 1,500'

FIGURE:
2
DATE: 8-99



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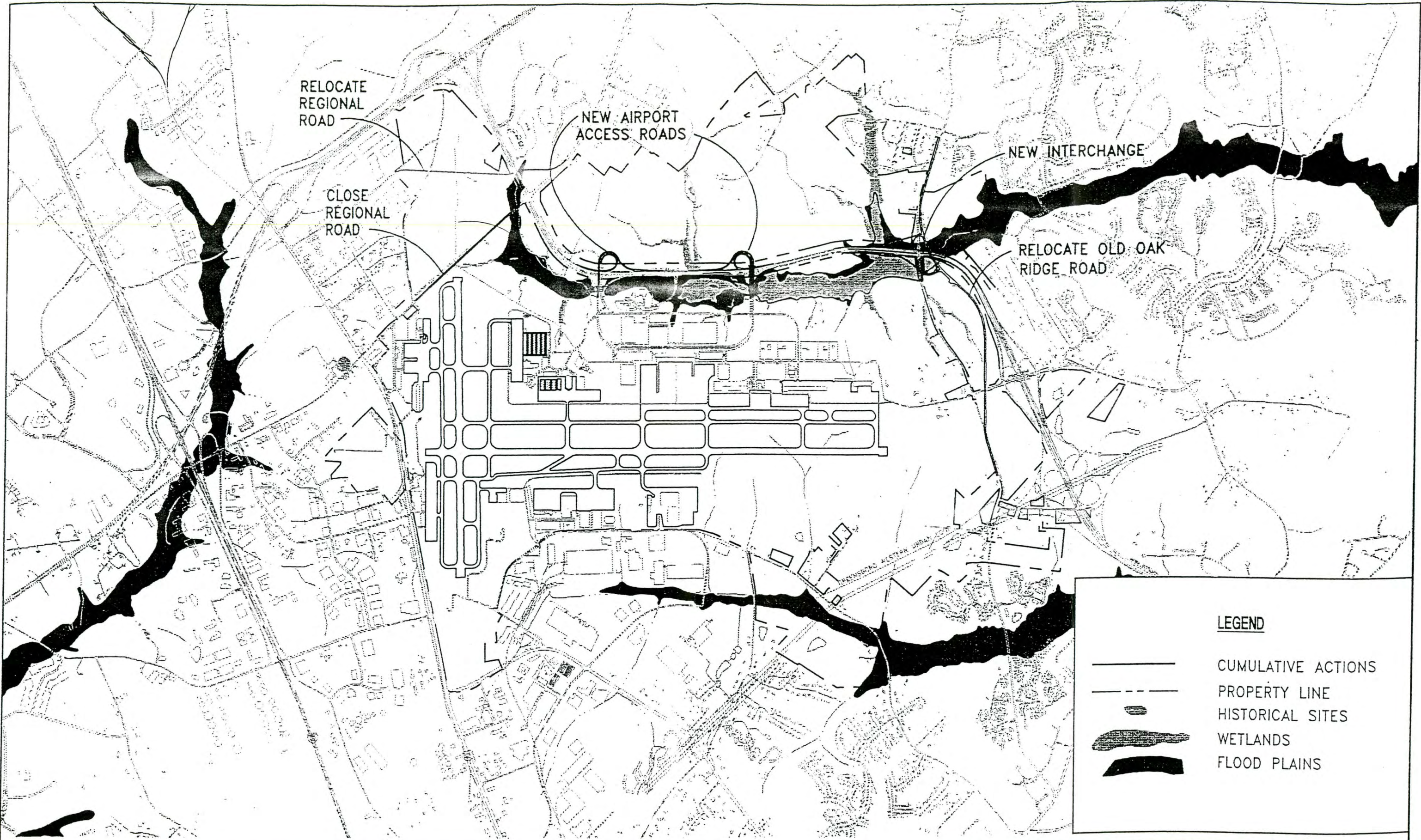
PTAA PROPOSED ACTION

| LEGEND | |
|--------|----------------------|
| | PHASE 1 IMPROVEMENTS |
| | PHASE 2 IMPROVEMENTS |
| | CUMULATIVE ACTIONS |





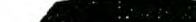
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| DATE: 9-99 |

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LEGEND

-  CUMULATIVE ACTIONS
-  PROPERTY LINE
-  HISTORICAL SITES
-  WETLANDS
-  FLOOD PLAINS



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NO ACTION ALTERNATIVE


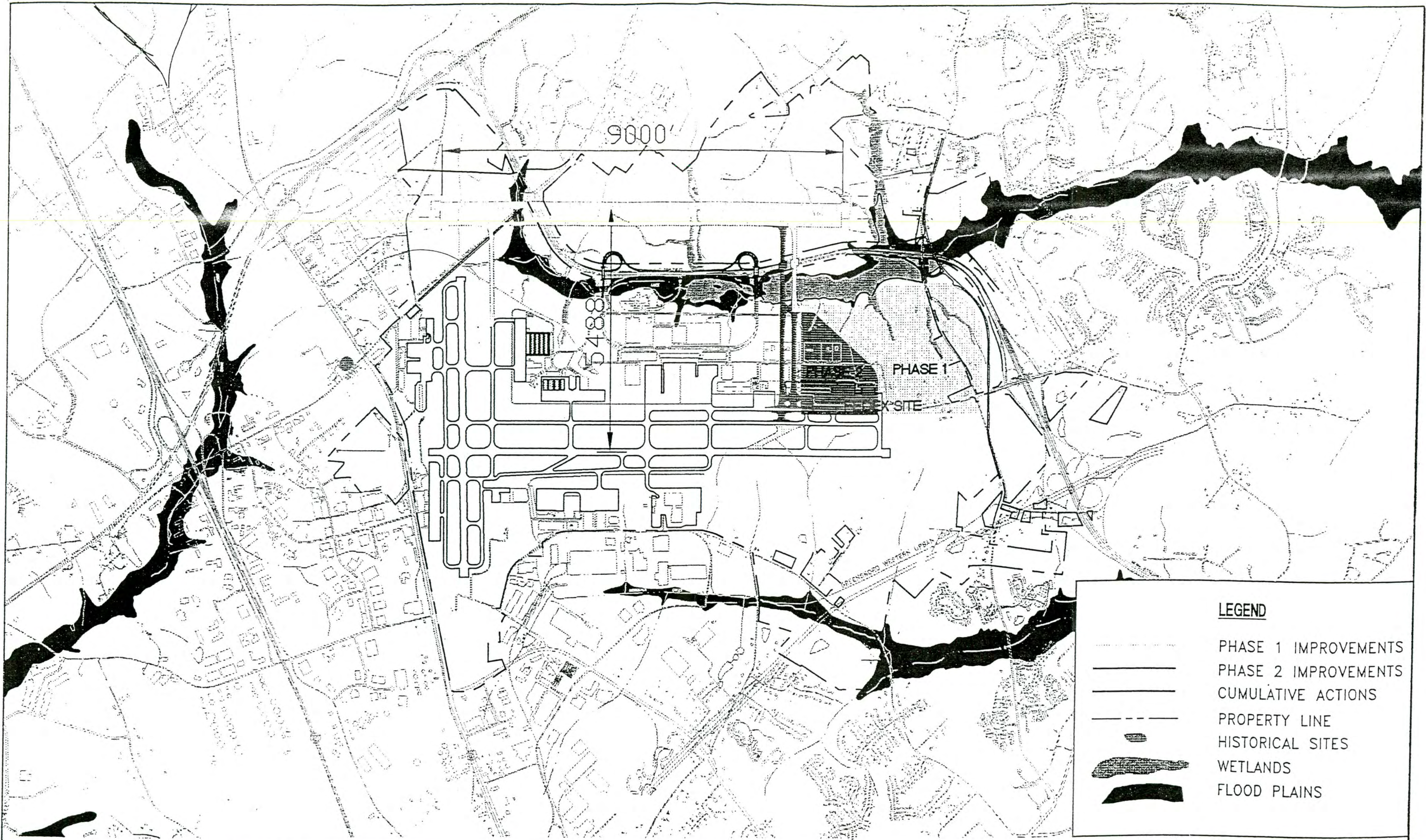
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FIGURE:
4
DATE: 9-99

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| LEGEND | |
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| | PHASE 1 IMPROVEMENTS |
| | PHASE 2 IMPROVEMENTS |
| | CUMULATIVE ACTIONS |
| | PROPERTY LINE |
| | HISTORICAL SITES |
| | WETLANDS |
| | FLOOD PLAINS |



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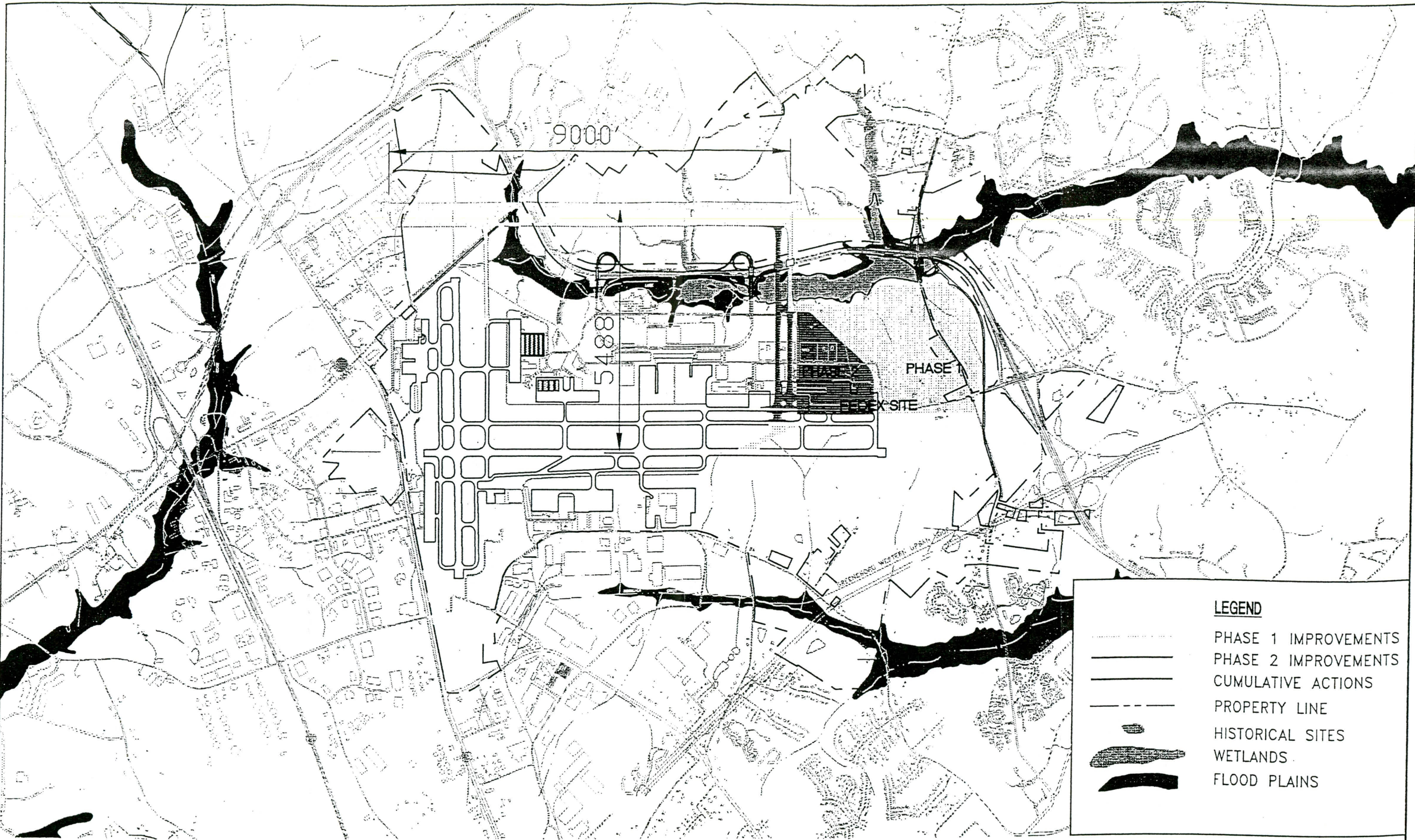
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ALTERNATIVE W2-A




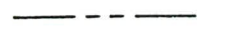





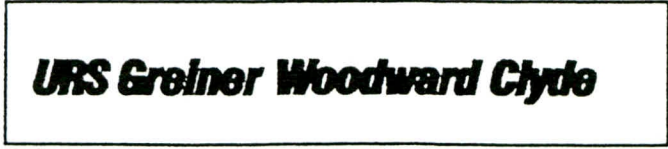
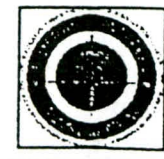
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FIGURE:
5
DATE: 9-99



LEGEND

-  PHASE 1 IMPROVEMENTS
-  PHASE 2 IMPROVEMENTS
-  CUMULATIVE ACTIONS
-  PROPERTY LINE
-  HISTORICAL SITES
-  WETLANDS
-  FLOOD PLAINS



ALTERNATIVE W3-A


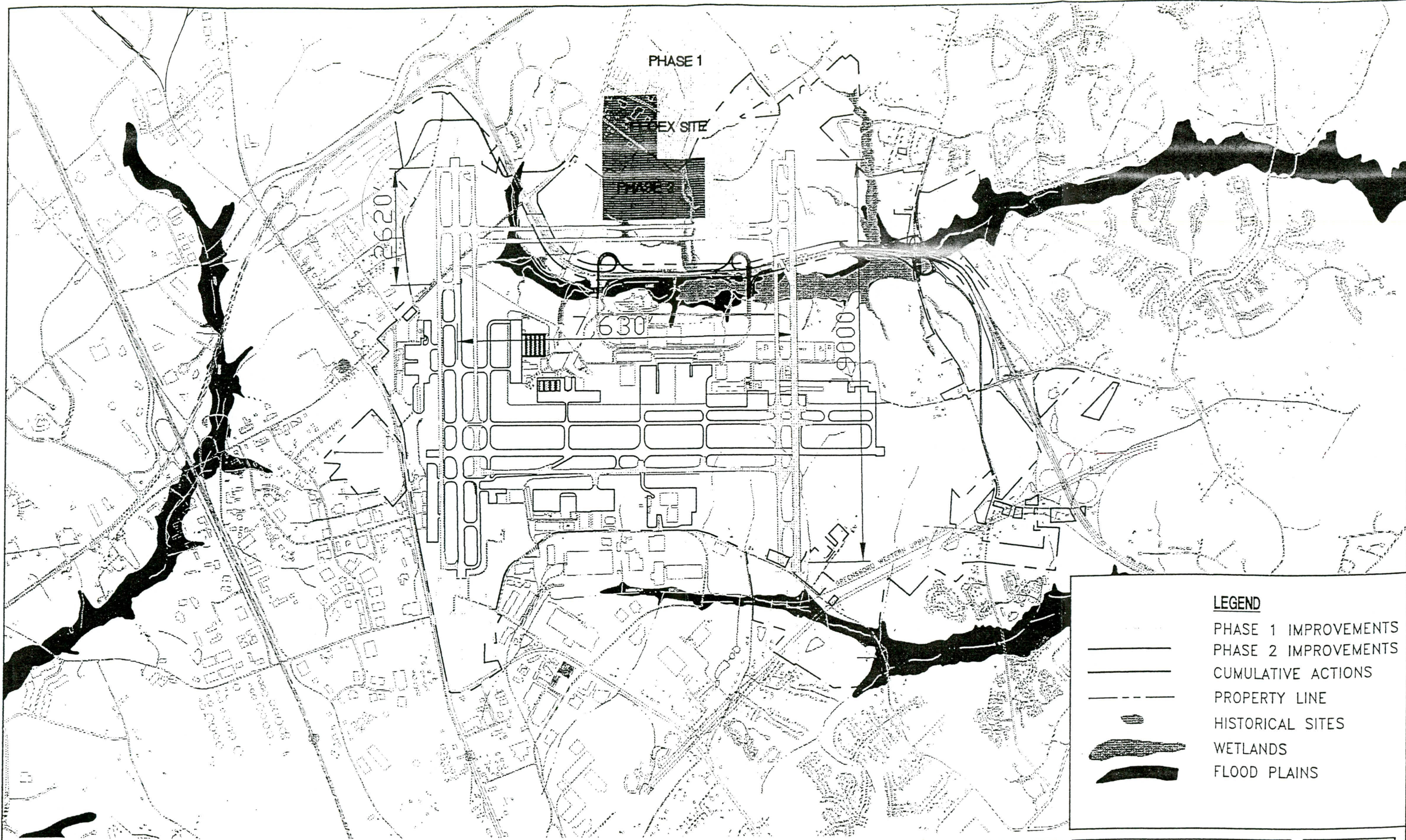
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FIGURE:
6
DATE: 9-99



LEGEND

- PHASE 1 IMPROVEMENTS
- PHASE 2 IMPROVEMENTS
- CUMULATIVE ACTIONS
- PROPERTY LINE
- HISTORICAL SITES
- WETLANDS
- FLOOD PLAINS



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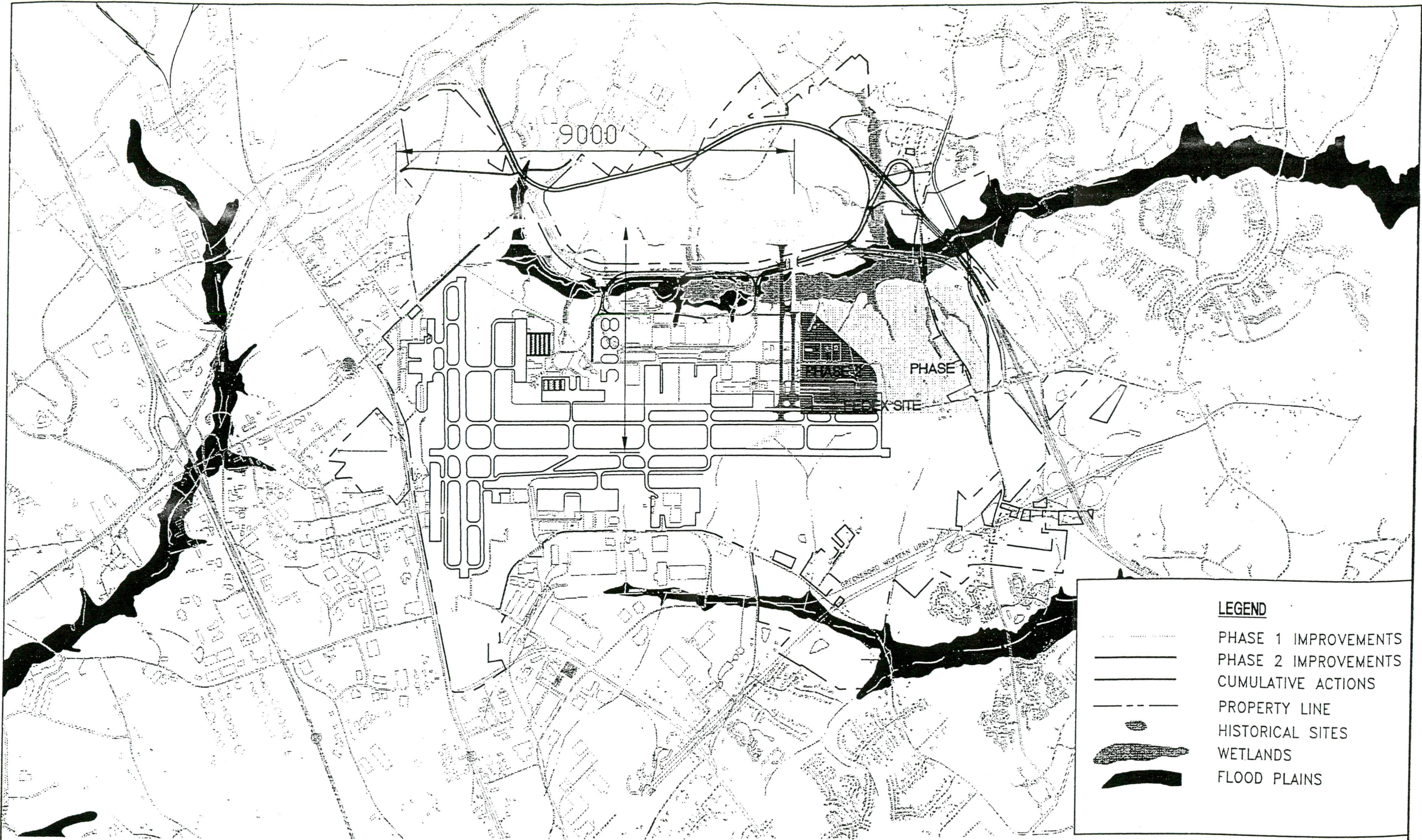
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ALTERNATIVE N-D

SCALE: 1" = 2,000'

FIGURE:
7
DATE: 9-99

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| LEGEND | |
|--------|----------------------|
| | PHASE 1 IMPROVEMENTS |
| | PHASE 2 IMPROVEMENTS |
| | CUMULATIVE ACTIONS |
| | PROPERTY LINE |
| | HISTORICAL SITES |
| | WETLANDS |
| | FLOOD PLAINS |



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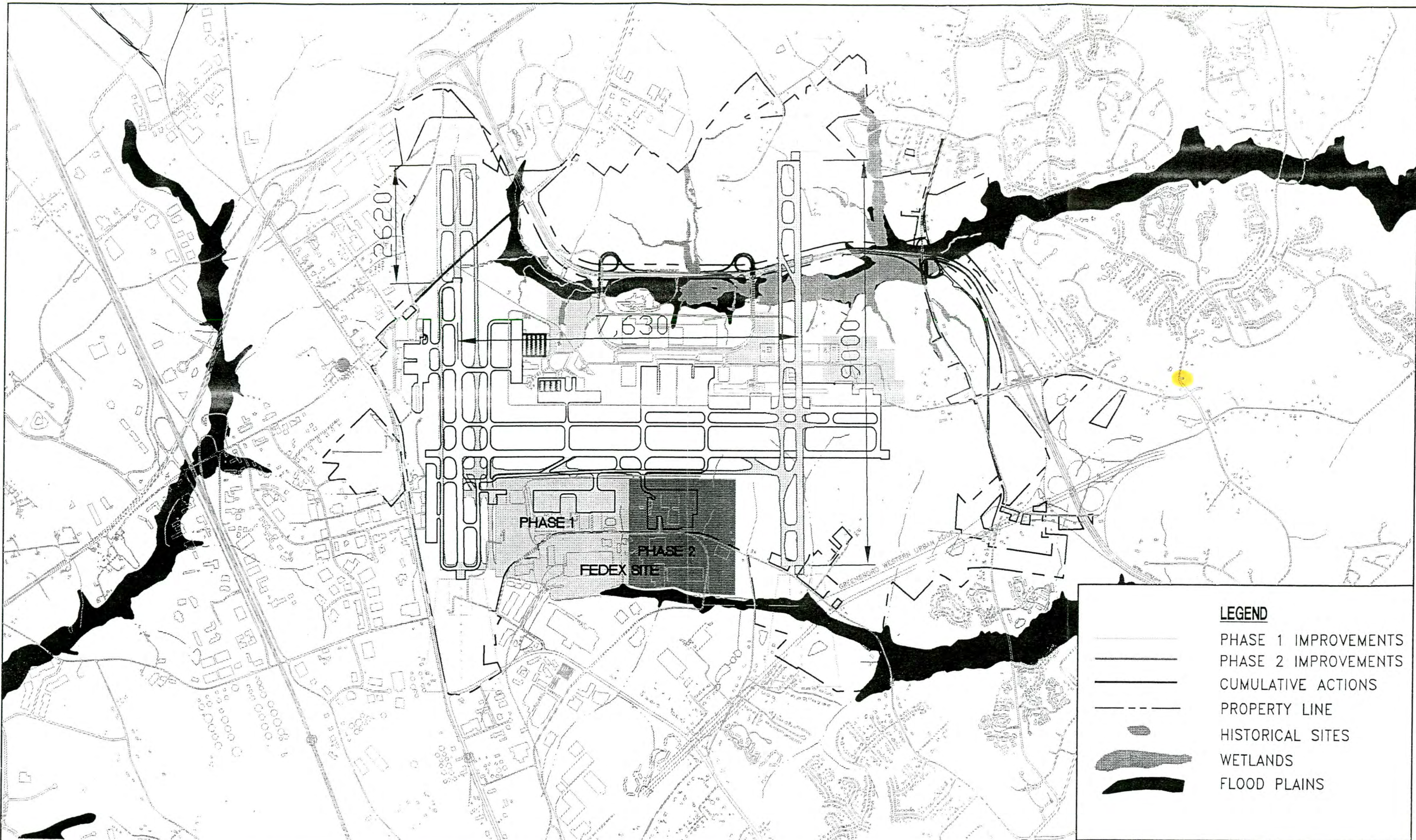
ALTERNATIVE W1-A1




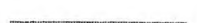



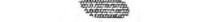

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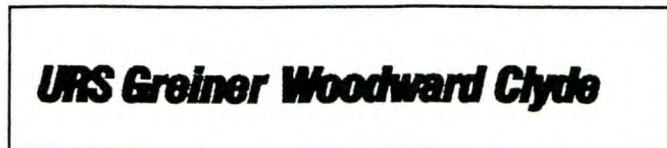
FIGURE:
8
DATE: 9-99

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LEGEND

-  PHASE 1 IMPROVEMENTS
-  PHASE 2 IMPROVEMENTS
-  CUMULATIVE ACTIONS
-  PROPERTY LINE
-  HISTORICAL SITES
-  WETLANDS
-  FLOOD PLAINS



ALTERNATIVE N-E


 SCALE: 1" = 2,000'

FIGURE:
9
DATE: 2-00

II. METHODOLOGY

Historic and archaeological resources that are listed or eligible for listing in the National Register of Historic Places, and that may be affected by an undertaking by a Federal agency, are given a measure of protection by Federal law, primarily the National Historic Preservation Act of 1966 (NHPA), as amended, and its implementing regulations, 36 CFR 800 (June 1999). These laws and regulations are invoked by the involvement of Federal funding, licensing, or permitting. Under the authority of Section 106 of the NHPA, the FAA, prior to the issuance of a grant for and funding of an undertaking—specifically, a proposed airport improvement—must take into account the effect the undertaking may have on properties listed in or eligible for listing in the National Register.

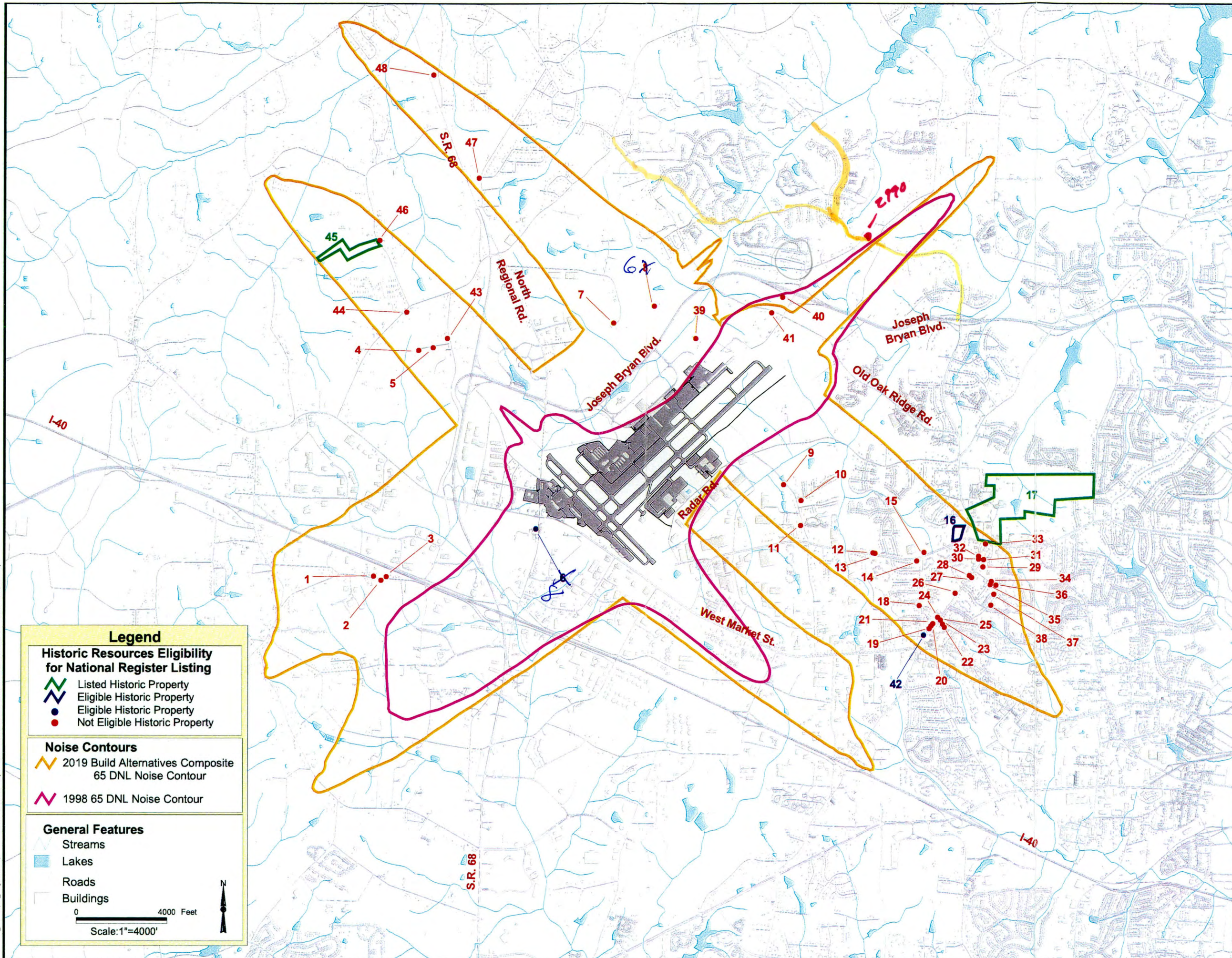
To determine the effect an undertaking may have on properties listed or eligible for listing the National Register, an Area of Potential Effect (APE) must be identified. The APE is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties, if any such properties exist (36 CFR 800.16(d)). Such changes may include physical destruction, damage, or alteration of a property; change of the character of the property's use or of physical features within its setting that contribute to its historic significance; and introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features (36 CFR 800.5(a)(2)). Based on these factors, the APE associated with historic architectural resources for the proposed airport improvements includes the limits of disturbance associated with these improvements and those locations that would *newly* fall within the 65 DNL noise contour as a result of the proposed improvements.

The DNL is a scientifically modeled level of sound that has been shown to be directly linked to human beings and "annoyance level." Location outside the 65 DNL is considered compatible with land uses that include residential, educational, religious, medical, and outdoor recreational. The use of the 65 DNL contour to define an APE for historic architectural resources is based on accepted FAA land-use compatibility guidelines (Federal Interagency Committee on Urban Noise, 1980) and recent court decisions (*Communities, Inc, et al. v. Busey, et al.*; *City of Grapevine Texas et al. v. Department of Transportation, et al.*).

The historic architectural APE for the project, which falls between the current 65 DNL noise contour and the combined 65 DNL contour for all of the project alternatives, is pictured at Figure 10. The APE also includes the limits of disturbance associated with the airport improvements for the various alternatives, which are pictured at Figures 2 through 9, above.

After the APE was established, URS Greiner Woodward Clyde's (URSGWC) senior architectural historian Marvin A. Brown, the principal investigator for the project, conducted research at the North Carolina State Historic Preservation Office (SHPO) and fieldwork within the APE. At the SHPO, it was determined that 11 resources more than 50 years old within the APE had previously been inventoried. Fieldwork in August and October, 1999, for this project identified an additional 37 historic architectural resources more than 50 years old within the APE, bringing the total number of standing resources within the APE to 48.

CI_375_digital_eligibility.apr - View:Historic Resources - Layout:4.2.4.1 Historic Architecture Area of Potential Effect and Historic Resources Map



Legend

Historic Resources Eligibility for National Register Listing

- Listed Historic Property
- Eligible Historic Property
- Eligible Historic Property
- Not Eligible Historic Property

Noise Contours

- 2019 Build Alternatives Composite 65 DNL Noise Contour
- 1998 65 DNL Noise Contour

General Features

- Streams
- Lakes
- Roads
- Buildings

0 4000 Feet
Scale: 1"=4000'

FIGURE:
10

Date: 03/06/00

Historic Architecture Area of Potential Effect and Historic Resources Map

PIEDMONT TRIAD INTERNATIONAL AIRPORT

Environmental Impact Statement



III. PROPERTY INVENTORY AND EVALUATION

There are 48 historic architectural resources within the project's APE that are greater than 50 years old. Two of these—the Guilford College Historic District (URSGWC survey number 17 [#17]) and the Shaw-Cude House (#45)—are listed in the National Register of Historic Places. Three have been officially determined eligible for National Register listing—the New Garden Friends Cemetery (#16), the Campbell-Gray Farm (#8), and the Roy Edgerton House (#42). Six other resources were previously inventoried, and determined ineligible for National Register listing, by Oppermann (1991) as part of a historic architectural survey of the Greensboro Western Urban Loop project (Hollowell House/#14, Coble Farm /#15, Dr. McCracken House /#30) and by R.S. Webb & Associates (1998) as part of a cultural resources survey of 390 undeveloped acres at the airport (Farm Complex/#39, Tobacco Barn/#40, Abandoned House and Tobacco Barn/#41). These six resources were previously recommended as and determined ineligible for National Register listing (Oppermann 1991; R.S. Webb to Law Engineering, May 27, 1998, letter report, attached as Appendix A; David Brook to Nicholas L. Graf, April 22, 1991, attached as Appendix B; David Brook to Grace F. Keith, May 19, 1998, attached as Appendix D.) The other 37 resources reported on below were inventoried for this project. A few of the 48 resources had additionally been included in *Greensboro: An Architectural Record* (Brown 1995). All of the previously recorded sites were revisited, to determine whether their eligible or non-eligible status might have changed since they were last inventoried.

The Guilford College Historic District (#17), Shaw-Cude House (#45), New Garden Friends Cemetery (#16), Campbell-Gray Farm (#8), and Roy Edgerton House (#42) appear to retain their integrity and significance. The Guilford College Historic District and Shaw-Cude House are therefore believed to merit continued listing in the National Register and the New Garden Friends Cemetery, Campbell-Gray Farm, and Roy Edgerton House are believed to remain eligible for National Register listing. None of the other inventoried resources (#1 through #7, #9 through #15, #18 through #41, #43 and #44, and #46 through #48) are believed to have sufficient integrity and/or significance, either individually or as part of any potential historic district, to be eligible for National Register listing.

The 48 historic architectural resources, along with the project's APE, are pictured at Figure 10, above.

A. Resources Listed in the National Register

*Guilford College Historic District (#17 and SHPO survey number GF-1003 [GF-1003])
Northeast corner of West Friendly Avenue and New Garden Road, Greensboro*

The Guilford College Historic District was listed in the National Register in 1990. It was found to be of statewide religious, educational, and college campus design significance under Criteria A and C. The district contains 35 resources associated with Guilford College located on about 280 acres of land. It extends northeast from the intersection of West Friendly Avenue and New Garden Road in Greensboro. The integrity and significance of the district have remained substantially intact, in terms of the National Register, since it was listed in the Register (Plate 1). It is therefore believed to merit continued National Register listing.



Plate 1 Guilford College Historic District (#17) - Looking north from near intersection of West Friendly Avenue and New Garden Road

Shaw-Cude House (#45 and SHPO survey number GF-37)

Down 0.5 mile private road, west side of SR 2010, 0.6 miles north of SR 2133, Greensboro vicinity

The Shaw-Cude House was listed in the National Register in 1982. It was found to be significant (1) under National Register Criterion A for its association with the changing patterns of religious worship in Piedmont North Carolina during the late eighteenth and nineteenth centuries and (2) under Criterion C as an embodiment of distinctive characteristics of late eighteenth- and early nineteenth-century Quaker building in the North Carolina Piedmont. The house is listed in the National Register along with 20 acres, which extend in a long, narrow, zagging rectangle from SR 2010 to the house and the twin ponds west of it. The integrity and significance of the house have remained substantially intact, in terms of the National Register, since it was listed in the Register (Plate 2). Indeed, the remainder of its later stucco covering has been removed, revealing the exceptional glazed-header Flemish bond brickwork of all three of its brick elevations. It is therefore believed to merit continued National Register listing.



Plate 2 Shaw-Cude House (#45) - East side and south elevations

B. Resources Previously Determined Eligible for National Register Listing

New Garden Friends Cemetery (#16 and GF-1224)

Northwest corner of West Friendly Avenue and New Garden Road, Greensboro

As a result of the historic architectural survey of the Greensboro Western Urban Loop, the New Garden Friends Cemetery was determined eligible for National Register listing in 1991 (Oppermann 1991; David Brook to Nicholas L. Graf, April 22, 1991, attached as Appendix B). It was found to be significant under Criteria A, B, C, and D for its history, gravestone design, and archaeological potential. The integrity and significance of the cemetery have remained substantially intact, in terms of the National Register, since 1991 and it is therefore believed to continue to be eligible for Register listing (Plate 3).



Plate 3 New Garden Friends Cemetery (#16) - Looking north from north of West Friendly Avenue

Campbell-Gray Farm (#8 and GF-425)

Southwest corner of junction of West Market Street and Regional Road, Greensboro

As a result of the historic architectural survey of a project to replace Bridge No. 74 over US 421 (Griffith 1995), this resource was determined eligible for National Register listing in 1991 (David Brook to Nicholas L. Graf, September 20, 1995, attached as Appendix C). It was found to be significant under Criterion C for the Colonial Revival-style architecture of its house and the unusual design of its polygonal barn. The integrity and significance of the house and barn have remained substantially intact, in terms of the National Register, since 1995 and the resource is therefore believed to continue to be eligible for Register listing (Plates 4 and 5).



Plate 4 Campbell-Gray Farm (#8) - South and west elevations of house



Plate 5 Campbell-Gray House (#8) - North and west elevations of barn

Roy Edgerton House (#42)
107 Lindley Road, Greensboro

As a result of the historic architectural survey of the Greensboro Western Urban Loop, the Roy Edgerton House was determined eligible for National Register listing in 1991 (Oppermann 1991; David Brook to Nicholas L. Graf, April 22, 1991, attached as Appendix B). It was found to be significant as an excellent representative of the mix of the Colonial Revival and Craftsman styles. The integrity and significance of the house have remained substantially intact, in terms of the National Register, since 1991 and it is therefore believed to continue to be eligible for Register listing (Plate 6).



Plate 6 Roy Edgerton House (#42) - East front and south side elevations

C. Resources Previously Determined Not Eligible for National Register Listing

*Hollowell House (#14 and GF-1199)
6105 West Friendly Avenue, Greensboro*

This two-story, single-pile, weatherboarded, frame house was built, according to Oppermann (1991), by A.B. Coltrane in the late nineteenth century and acquired by Alfred and Mary Ann Hollowell in 1908. Its front (north) facade is three bays wide and marked by a one-bay Colonial Revival-style porch—probably added in the 1920s or 1930s—and a facade gable. An original two-story, shed-roofed, rear ell with a further gabled extension projects from its rear. Interior brick stacks appear to have been rebuilt, but cornice returns and corner boards remain intact. According to William Coble, who was born in the Lindley-Coble House (#15) across the road in 1914, the house is not on its original location, but was rather moved to its site (Coble 1999). No original outbuildings survive on the property. A later gabled frame garage stands to the dwelling's rear (Plates 7 and 8).

Oppermann (1991) recommended that the house was not National Register eligible and it was determined ineligible for Register listing in 1991 (David Brook to Nicholas L. Graf, April 22, 1991, attached as Appendix B). The house has changed little since 1991 and it is believed to remain ineligible for individual National Register listing. Further, the house is not part of any potential historic district. Heavy residential and commercial development have occurred on West Friendly Avenue west of Guilford College in the past 20 years and the former rural character of the area has been destroyed. The house is therefore also not believed to be Register eligible under Criterion C as part of any historic district.



Plate 7 Hollowell House (#14) - North front elevation



Plate 8 Hollowell House (#14) - East side and south rear elevations

Coble Farm (#15 and GF-1159)
6010 West Friendly Avenue, Greensboro

According to owner and occupant William Coble (1999), who was born here in 1914, and to Oppermann (1991), this house was erected between about 1906 and 1908 by D.W. Lindley. In 1911 or 1912 Mr. Coble's father, Sam Coble, purchased the property, which contained about 30 acres. William Coble purchased additional acreage and at one point the property consisted of about 75 acres and operated as the Sunny Hill Dairy. It is no longer a farm and its acreage has been reduced. It is now largely ringed by senior citizen housing and other modern development. In the early 1990s, a number of outbuildings remained on the property (Brown 1995:429). These have now been reduced to a garage and shed behind the house and, further to the north, a gambrel-roofed, brick and frame dairy barn built by William Coble in the 1940s. The barn is still in partial use, as Mr. Coble continues to raise some cattle on the property. It no longer supports a dairy, however.

The house is a large, two-story, weatherboarded, frame structure. It has a central hipped roof and cross hipped gables. The front (south) facade, which steps back, is largely screened by a modern two-story portico of heavy brick first-story posts and modern metalwork above. A porch at the rear of the house has been enclosed as well. According to Oppermann, the front facade and one side facade date from the late 1940s or 1950s and the porch is a later addition (Plates 9, 10, and 11).

Oppermann recommended that the Coble Farm was not National Register eligible and it was determined ineligible for Register listing in 1991 (David Brook to Nicholas L. Graf, April 22, 1991, attached as Appendix B). The house has changed little since 1991 and it is believed to remain ineligible for individual National Register listing. Further, the resource is not part of any potential historic district. Heavy residential and commercial development have occurred on West Friendly Avenue west of Guilford College in the past 20 years and the former rural character of the area has been destroyed. Oppermann noted in 1991 that the open land around the farm evoked "the character of semi-rural Guilford County before it was inundated with development." Since that time, however, the Friends Home—a massive retirement community—has expanded immediately to the west of the property and outbuildings have been removed from the surviving open land associated with the house. The resource is therefore also not believed to be Register eligible under Criterion C as part of any historic district.



Plate 9 Coble Farm (#15) - South front and east side elevations of house



Plate 10 Coble Farm (#15) - North rear and east side elevations of house



Plate 11

Coble Farm (#15) - South elevation of barn

Dr. McCracken House (#30 and GF-1219)
523 College Road, Greensboro

According to its owner and occupant, Margaret McGuire (1999), a small part of this frame house may date from as early as the 1850s. Oppermann (1991), however, notes that the original log house on the property is no longer extant and believes that all or almost all of the house dates from the turn of the century. Oppermann was told in 1991 that a chimney once bore the date of 1868; however, Mrs. McGuire stated in 1999 that a chimney once bore a brick dated 1897, which conforms with the current appearance of the dwelling and Oppermann's assessment. According to Oppermann, Dr. J.F. McCracken (1859-1924) built the house on land he acquired from his father.

The house is two stories tall and L-shaped, with a broad facade gable at its three-bay front (east) facade. Although aluminum-sided, it retains cornice returns and a wraparound porch marked by turned posts and decorative cut-out brackets. Its inside, according to Oppermann, retains little original finish. To the house's rear are a board-and-batten frame outbuilding and a gable-front weatherboarded outbuilding with an attached garage shed. This latter building is said to have once been the office of Dr. McCracken (Brown 1995:426; McGuire 1999; Oppermann 1991) (Plates 12, 13, and 14).

Oppermann recommended that the house was not National Register eligible and it was determined ineligible for Register listing in 1991 (David Brook to Nicholas L. Graf, April 22, 1991, attached as Appendix B). The house has changed little since 1991 and it is believed to remain ineligible for individual National Register listing. Further, the house is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The house is therefore also not believed to be Register eligible under Criterion C as part of any historic district.



Plate 12 Dr. McCracken House (#30) - East front and south side elevations of house



Plate 13 Dr. McCracken House (#30) - South side and west rear elevations of house



Plate 14 Dr. McCracken House (#30) - North front elevation of former office/garage

*Farm Complex (#39/R.S. Webb survey number TA-1/389*** [#TA-1/389***])
West side of Airport Parkway, 1.0 mile north of Bryan Boulevard, Greensboro vicinity*

In 1998, R.S. Webb & Associates inventoried this resource on airport property near a number of rental car facilities as part of a culture resources survey of a 390-acre undeveloped portion of the airport. The report described it as follows:

Site TA-1 is a historic farm complex consisting of two tobacco barns, a carport/barn, a house, a shed, a small brick foundation, and a large foundation with a boiler and a well. One of the tobacco barns is constructed of interlocking logs and appears to date from the late 19th to middle 20th century. No artifacts were recovered from Site TA-1. A large portion of the site has been disturbed by the placement of an airport storage yard, consisting of a storage shed and a bulldozed access road, within the central portion of the site. In addition, severe erosion and neglect have contributed to the poor overall archeological condition of the site. Despite these disturbances, the two tobacco barns remain in good condition. Though archeological deposits were not present at the site, the two tobacco barns appeared to be potentially eligible for the NRHP under architectural criteria (R.S. Webb to Law Engineering, May 27, 1998, letter report, attached as Appendix A).

Webb recommended that no additional work was necessary for any of the resources it inventoried within the project area, including this resource. Webb corresponded with and submitted photographs to the North Carolina SHPO. The SHPO concluded that the tobacco barns—the only resources on the property that Webb recommended as being potentially National Register eligible—were not historically significant (David Brook to Grace F. Keith, May 19, 1998, attached as Appendix D). This property was revisited and found to have neither integrity nor any apparent significance (Plate 15). It is therefore believed to remain ineligible for National Register listing. Webb did not specifically address the potential eligibility of this resource to the National Register as part of any historic district. Because of its location in the midst of a modern airport, however, the lack of a historic district was implicit and it is not believed that the resource is Register eligible under Criterion C as part of any such district.



Plate 15

Farm Complex (#39) - Rear elevation of house

*Tobacco Barn (#40/#TA-9/397***)*

North side of Old Oak Ridge Road, 0.1 mile west of Inman Road, Greensboro vicinity

In 1998, R.S. Webb & Associates inventoried this resource, which is located just north of the airport proper near a ramp of Bryan Boulevard, as part of a culture resources survey of a 390-acre undeveloped portion of the airport. The report described it as follows:

Site TA-9 consists of an isolated tobacco barn. All shovel tests excavated in the vicinity of this barn were negative. The barn is constructed of interlocking logs and some tarpaper was noted on the outside. A recent addition of a porch/shed on the front was also noted. This barn appears to date from the late 19th to middle 20th century. Site TA-9 does not appear to contain archeological deposits, the log tobacco barn appeared to be potentially eligible for the NRHP under architectural criteria (R.S. Webb to Law Engineering, May 27, 1998, letter report, attached as Appendix A).

Webb recommended that no additional work was necessary for any of the resources it inventoried within the project area, including this barn. Webb corresponded with and submitted photographs to the North Carolina SHPO. The SHPO concluded that the barn was not historically significant (David Brook to Grace F. Keith, May 19, 1998, attached as Appendix D). When this site was revisited, the barn could not be located. It was likely a victim of the intensive development taking place all around the airport.

*Abandoned House and Tobacco Barn (#41/#TA-7/395***)*

South side of Old Oak Ridge Road, 0.1 mile west of Inman Road, Greensboro vicinity

In 1998, R.S. Webb & Associates inventoried this resource, which is located just north of the airport proper adjacent to a large modern firehouse, as part of a culture resources survey of a 390-acre undeveloped portion of the airport. The report described it as follows:

Site TA-7 consists of an abandoned house and a log tobacco barn located on Old Oak Ridge Road. No artifacts were recovered from this site. The house appears to date from the early to middle 20th century and is in fair/poor condition due to neglect. The tobacco barn probably dates from the late 19th to middle 20th century and remains in good condition. Though Site TA-7 does not appear to contain archeological deposits, the log tobacco barn appeared to be potentially eligible for the NRHP under architectural criteria (R.S. Webb to Law Engineering, May 27, 1998, letter report, attached as Appendix A).

Webb recommended that no additional work was necessary for any of the resources it inventoried within the project area, including this resource. Webb corresponded with and submitted photographs to the North Carolina SHPO. The SHPO concluded that the tobacco barn—the only resource on the property that Webb recommended as being potentially National Register eligible—was not historically significant (David Brook to Grace F. Keith, May 19, 1998, attached as Appendix D). The house could not be located in October, 1999, and is assumed to have been destroyed. An apparent house site, minus a house, was located near the site at which Webb had located the dwelling.

D. Resources Recommended Not Eligible for National Register Listing

House and Outbuildings (#1)

North side of National Service Road, 0.3 miles east of junction with Tyner Road, Greensboro vicinity

This resource consists of a small vacant house and four outbuildings on a long narrow lot framed by modern residences and I-40. The larger farm of which it must once have been a part is no longer evident. The house is a one-story, single-pile, gable-end, frame structure clad in weatherboards. It has a four-bay front facade, a facade gable, cornice returns, and a full-facade front porch supported by modern metal posts. A one-story rear ell is in very deteriorated condition, with a collapsed porch and a partially collapsed roof. Overall, the house is in deteriorated condition. The form and finish of the dwelling are quite common to those of many other tenant and modest farmhouses erected in North Carolina in the late nineteenth and early twentieth century. The outbuildings, which may be contemporary with the house, are also common types. To the rear (north) of the house is a small, frame, weatherboarded barn. To its rear are two tobacco barns. They are of log with v-notches so gently angled that they are almost square. To the rear of the barns is a vertical board-sided, frame outbuilding that may originally have been a packhouse. All four of the outbuildings are vacant and deteriorated (Plates 16, 17, and 18).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals. Although it retains a few outbuildings, it is no longer an active farm and has no agricultural property associated with it. Many farmsteads that are far more intact survive in Guilford County. The resource is therefore not believed to be Register-eligible under Criteria A or B. The house and outbuildings are not architecturally notable. Many better, more intact representatives of their forms and styles can be found throughout the county. Their integrity is at best marginal. Further, they are not part of any potential historic district. Heavy development has taken place around them, mostly within the past 10 years, and I-40 is located immediately to their north. The former rural character of the area has been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house and outbuildings would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 16 House and Outbuildings (#1) - South front and east side elevations of house



Plate 17 House and Outbuildings (#1) - South front elevation of barn



Plate 18 House and Outbuildings (#1) - West elevation of tobacco barn

Bungalow (#2)

South side of National Service Road, 0.4 miles east of junction with Tyner Road, Greensboro vicinity

This small early twentieth-century bungalow is one story tall and two rooms deep. It has a gable-front, three-bay-wide facade shaded by a Craftsman-style porch with tapered posts on brick piers. Built of frame, it is sided with asbestos shingles. Although vacant, it appears to be in fair condition (Plate 19).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Further, it is not part of any potential historic district. Heavy development has taken place around it, mostly within the past 10 years, and I-40 is located just to its north. The former rural character of the area has been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 19 Bungalow (#2) - North front and east side elevations

William Hiatt House (#3)

North side of National Service Road, 0.45 miles east of junction with Tyner Road, Greensboro vicinity

According to current owner and occupant Barbara Hiatt Lunsford (1999), this house was built in the 1940s by her grandfather, William Hiatt. It was originally a one-story, single-pile, gable end dwelling. In 1982 Mrs. Lunsford added the second story and the Mt. Vernonesque two-story front portico. Other notable alterations to the house include the addition of a side ell and aluminum siding. To the west side of the house stands a frame, vertical board-sided workshop that is likely contemporary with the house (Plates 20 and 21).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Additionally, in terms of its architecture, it has lost its integrity through substantial alteration. Further, it is not part of any potential historic district. Heavy development has taken place around it, mostly within the past 10 years, and I-40 is located just to its north. The former rural character of the area has been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 20 William Hiatt House (#3) - South front elevation



Plate 21 William Hiatt House (#3) - East side and north rear elevations

House (#4)

South side of Atchison Road, 0.2 miles west of junction with Brigham Road, Greensboro vicinity

This small house is three bays wide, one story and a loft tall, and one room deep. It has altered posts at its attached front porch, aluminum siding, and a later-added engaged shed room at its rear. An exterior-end brick chimney stack rises at one gable end. The three-over-one sash suggests an early twentieth-century construction date. However, the flush gables, relative depth of the openings, and proportions indicate that the house is of log construction. The occupant of House #5, who did not give his name, confirmed this observation. The house's numerous exterior alterations obscure most of the features that may have assisted in dating it. (No one was home and access was not possible.) The modestly proportioned chimney, however, suggests that the house was built in the late nineteenth or perhaps even the early twentieth century (Plates 22 and 23).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Better, more intact representatives of its form and material can be found throughout Guilford County. Additionally, in terms of its architecture, the house appears to have lost its integrity through the alteration or addition of its windows, porch, siding, and rear ell. Further, it is not part of any potential historic district. Although the resource is located at the end of a road, with some woods and open fields around it, its vicinity is become increasingly dominated by modern housing, singly and, even more deleteriously, in residential developments. Significant non-residential development is also taking place in its locale. The former rural character of the area has largely been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 22 House (#4) - East side elevation



Plate 23 House (#4) - West side and north front elevations

House (#5)

South side of Atchison Road, 0.1 miles west of junction with Brigham Road, Greensboro vicinity

This small frame house appears to have been erected between 1925 and 1945. It is one story tall and one room deep, with a substantial shed-roofed addition. Its gable-end roof is covered with modern seam metal. Its shed-roofed front porch has been altered, as have many of its bays, only a few of which retain their original four-over-four sash (Plate 24).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Additionally, in terms of its architecture, it has lost much of its integrity through alteration. Further, it is not part of any potential historic district. Although it is located near the end of a road, with some woods and open fields around it, its vicinity is become increasingly dominated by modern housing, singly and, even more deleteriously, in residential developments. Significant non-residential development is also taking place in its locale. The former rural character of the area has largely been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 24 House (#5) - North front and east side elevations

Bungalow (#6)

West side of Caindale Drive, 0.5 miles south of junction with Hollandsworth Drive, Greensboro vicinity

The small, frame, gable-front, early twentieth-century bungalow stands at the end of Caindale Drive. It retains its original form, including an engaged porch roof, projecting rafter ends, and three-over-one sash. Its appearance is significantly altered, however, by its modern metal roof and plywood or composition board siding. No notable outbuildings are associated with it (Plate 25).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Additionally, in terms of its architecture, it has lost its integrity through substantial alteration. Further, it is not part of any potential historic district. Although located at the end of a road, with woods and open fields around it, its vicinity is dominated by the nearby airport and the heavy transportation and business development associated with the airport. The former agricultural character of the area has largely been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture-archaeology is not addressed here-the study of the physical components of the bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 25

Bungalow (#6) - South front and west side elevations

House and Outbuildings (#7)

Down 0.3 mile dirt track, east side of Caindale Drive, 0.2 miles south of junction with Hollandsworth Drive, Greensboro vicinity

This one-story, gable-end house, located down an overgrown dirt track, is in ruinous condition. A one-room-deep, frame structure with German siding, it appears to have been built between 1925 and 1945. Past it, on the opposite side of the lane, are two ruinous outbuildings. One—a long gable-roofed building of concrete block and corrugated metal—was once a milking barn. The other, largely hidden by overgrowth, appears to be a frame shed-roofed chicken house or shed (Plates 26 and 27).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals. Although it retains a few outbuildings, it is no longer an active farm and has no agricultural property associated with it. Many farmsteads that are far more intact survive in Guilford County. The resource is therefore not believed to be Register-eligible under Criteria A or B. The house and outbuildings are not architecturally notable. Many better, more intact representatives of their forms and styles can be found throughout the county. Additionally, in terms of their architecture, the house and outbuildings have lost their integrity through substantial deterioration. Further, they are not part of any potential historic district. Although the resource is located near the end of a dirt lane with woods and open fields around it, its vicinity is dominated by the nearby airport and the heavy transportation and business development associated with the airport. The former agricultural character of the area has largely been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house and outbuildings would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 26 House and Outbuildings (#7) - South front and west side elevations of house



Plate 27 House and Outbuildings (#7) - Interior of milking barn

Bungalow (#9)

West side of Stage Coach Trail, 0.1 mile north of junction with Wagon Wheel Drive, Greensboro

This frame bungalow, which dates from the early twentieth century, is one story tall. It retains weatherboards, three-over-one sash, and an engaged front porch with tapered columns on brick piers. Its foundation is stuccoed and its roof is asphalt shingled (Plate 28).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential development has taken place around it, mostly within the past 20 years, and the former rural character of the area has been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 28

Bungalow (#9) - East front and north side elevations

House (#10)

Southeast corner of intersection of Wagon Wheel Drive and Stage Coach Trail, Greensboro

This expansive tripartite frame house appears to date from the early to mid twentieth century. It has a three-bay, two-story, single-pile, gable-end, central block. Flanking this block are gable-end, two-bay, one-and-a-half-story wings. Extending from the rear of the central block is a long one-and-a-half-story ell terminating in a pair of gables. Dormers rise from its roof. The house retains weatherboard siding at its front and modillion blocks at its cornice, but has otherwise been much altered on the outside. (Interior access was not possible.) Its windows have been boarded up and in some cases removed; the columns of an apparent two-story front portico have been removed; an out-of-character modern metal roof has been added at all of its blocks; and much of its rear siding has been removed along with, apparently, rear porches. It appears to have been undergoing a rehabilitation within the past few years that was abruptly halted. It stands on a large lot with some mature shade trees. Its neighbors are modern houses (Plates 29, 30, and 31).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is unusually large, but otherwise not architecturally notable. Many better, more intact representatives of its Colonial Revival style and form can be found throughout Greensboro (Brown 1995). Additionally, in terms of its architecture, it has lost its integrity through alteration and abortive renovations. Further, it is not part of any potential historic district. The many residences around it have largely been built within the past 20 years. The rural character that once would have defined its surroundings has largely been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 29 House (#10) - West front elevation



Plate 30 House (#10) - West front and north side elevations



Plate 31 House (#10) - East rear and north side elevations

Bungalow (#11)

West side of Stage Coach Trail, opposite Buckboard Lane, Greensboro

This frame bungalow, which dates from the early twentieth century, is one story tall. It retains weatherboards, two-over-two sash, exposed rafter ends, and an engaged front porch with square columns on brick piers. The brick piers are unusually tall because the house is raised on a full brick foundation (Plate 32).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is an intact bungalow but its architecture is not notable. Other more notable representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential development has taken place around it, mostly within the past 20 years, and the former rural character of the area has been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 32

Bungalow (#11) - East front elevation

House (#12)

6412 West Friendly Avenue, Greensboro

This small frame house appears to have been erected in the 1930s or 1940s. A one-story, gable-end structure, it has three-over-one sash and German siding. Three bays wide, it is raised on a brick foundation. It was likely built at the same time as House #13, which has the same appearance and stands almost immediately to its east (Plate 33).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is intact, but its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred on West Friendly Avenue west of Guilford College in the past 20 years and the former rural character of the area has been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 33

House (#12) - East front and south side elevations

House (#13)

6410 West Friendly Avenue, Greensboro

This small frame house appears to have been erected in the 1930s or 1940s. A one-story, gable-front structure, it has three-over-one sash and German siding. Three bays wide, it is raised on a brick foundation. It was likely built at the same time as House #12, which has the same appearance and stands almost immediately to its west (Plate 34).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is intact, but its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro and Guilford County. Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred on West Friendly Avenue west of Guilford College in the past 20 years and the former rural character of the area has been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 34 House (#13) - South front and west side elevations

Bungalow (#18)
305 Lindley Road, Greensboro

This one-and-a-half-story, early twentieth-century bungalow has a gable-front facade and side shed dormers. Its wood frame is now covered with aluminum. It retains four-over-one sash and a Craftsman-style porch. Marked by tapered wood posts on brick piers, the porch extends to the side to form a small porte cochere (Plate 35).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is intact, but its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 35 Bungalow (#18) - East front and north side elevations

Foursquare (#19)
221 College Road, Greensboro

This foursquare, which is almost hidden from College Road by a tall screen of junipers, appears to have been built in the early twentieth century. It is two stories tall, two rooms deep, and topped by a hipped roof. Its front (east) facade is three bays wide, with two-over-two sash and a facade gable. The house retains weatherboards over its wood frame and a wraparound Craftsman-style porch with tapered wood posts on brick piers. A one-story ell projects to its rear (Plates 36 and 37).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is intact, but its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 36 Foursquare (#19) - East front and south side elevations



Plate 37 Foursquare (#19) - East front and north side elevations

House (#20)

223 College Road, Greensboro

This frame house is one-story tall and L-shaped, with a gabled roof and two-over-two sash. It appears to have been built in the early twentieth century. It has been greatly altered through the filling in of its front porch, additions, and by its sheathing in aluminum (Plate 38).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). In terms of its architecture, it has lost its integrity through substantial alteration. Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 38 House (#20) - East front and south side elevations

Bungalow (#21)

Southwest corner of junction of College and Lucye Roads, Greensboro

This gable-end, early twentieth-century bungalow has a large, gabled, front (east) dormer and is one-and-a-half stories tall. A frame structure, it is sided with aluminum, which also covers up triangular knee braces. It retains a Craftsman-style porch with square wood posts on brick piers at its side (south), but it has lost all but the roof of its engaged front porch (Plate 39).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). In terms of its architecture, it has lost its integrity through substantial alteration. Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 39

Bungalow (#21) - East front and north side elevations

Bungalow (#22)
5818 Savoy Lane, Greensboro

Oversized bricks laid in simulation of a glazed header, Flemish bond pattern sheath this one-story bungalow. Multi-light-over-one sash remains in place, but the gable-front porch has been filled in. A contemporary gable-front garage of the same brick veneer stands to the house's east side. The brickwork suggests the house and garage date from the 1920s (Plate 40).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Its brickwork is found throughout Greensboro. Examples of the pattern include the neighboring house at 5814 Savoy Lane (#23) and nearby bungalow at 410 College Road (#27) and all of Proximity New Town Mill Village, which was erected in northeast Greensboro in 1928 (Brown 1995:250). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for the Register under Criterion D.



Plate 40 Bungalow (#22) - South front and east side elevations; garage to right

Foursquare (#23)
5814 Savoy Lane, Greensboro

This two-story, two-pile foursquare is faced with oversized brick laid in a glazed header, Flemish bond pattern. The house is topped by a hipped roof and has a hip-roofed front (west) dormer. It is three bays wide and has one-over-one sash windows. Its Craftsman-style porch is marked by tapered wood posts on brick piers (Plate 41).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is intact, but its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro (Brown 1995). Its brickwork is found throughout Greensboro. Examples of the pattern include the neighboring house at 5818 Savoy Lane (#22) and nearby bungalow at 410 College Road (#27) and all of Proximity New Town Mill Village, which was erected in northeast Greensboro in 1928 (Brown 1995:250). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for the Register under Criterion D.



Plate 41 Foursquare (#23) - West front and south side elevations

Bungalow (#24)
303 College Road, Greensboro

This gable-front, early twentieth-century bungalow is a long, narrow structure. Of frame, it is covered with aluminum siding. It retains multi-light-over-one sash and an engaged Craftsman-style porch with tapered wood posts on brick piers (Plate 42). (The house immediately to the bungalow's south at 301 College Street (GF-1205), inventoried by Oppermann (1991), has been destroyed.).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 42 Bungalow (#24) - East front and south side elevations

House (#25)
304 College Road, Greensboro

Originally a single-family residence, this large dwelling is now divided into apartments. Built in the early twentieth century, it is two stories tall with a high hipped roof and projecting cross gables. The front (west) and side (north) gables are marked by two-story bays. Its frame body is now clad in aluminum. The conversion to apartments has led to a number of changes to this house, including the addition of a second front door, a rear ell, and an exterior rear stairway that leads to the second story, and the covering over of at least one window (Plates 43 and 44).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable and its integrity is marginal. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 43 House (#25) - West front elevation



Plate 44 House (#25) - North side and east rear elevations

House (#26)

319 College Road, Greensboro

This two-story, L-plan, frame house appears to date from the early twentieth or perhaps the late nineteenth century. It is largely intact, retaining cornice returns and corner boards, two-over-two sash, and plain surrounds. Its front porch has been altered and screened in and its shed-roofed rear porch has also been enclosed. (Plates 45, 46, and 47).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is intact, but its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 45 House (#26) - East front and south side elevations



Plate 46 House (#26) - East front elevation



Plate 47 House (#26) - West rear elevation

House (#27)
410 College Road, Greensboro

This one-story, two-pile house is three bays wide and topped by a hipped roof. It is faced with oversized bricks laid in a Flemish-bond-type pattern that suggest it was built in the 1920s. It has six-over-one sash with paired windows at its front (west) facade. An engaged Craftsman-style porch with tapered wood posts on brick piers projects from this facade (Plate 48).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is intact, but its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro (Brown 1995). Its brickwork is found throughout Greensboro. Examples of the pattern include the nearby houses at 5818 (#22) and 5814 Savoy Lane (#23) and all of Proximity New Town Mill Village, which was erected in northeast Greensboro in 1928 (Brown 1995:250). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 48

House (#17) - West front and south side elevations

Bungalow (#28)
411 College Road, Greensboro

This frame, gable-end, early twentieth-century bungalow is one-and-a-half stories tall. It is three bays wide with four-over-one sash. Its attached front porch is marked by round wood columns on brick piers. A tiny contemporary wing extends to its side (south). It is now covered with aluminum siding, which obscures its triangular knee braces (Plate 49).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 49 Bungalow (#28) - North side and east front elevations

House (#29)
518 College Road, Greensboro

Kudzu almost entirely hides this one-story, one-room-deep, facade-gable house which, as a result of repeated widening of College Road, is precariously perched at the front edge of its lot. A long one-story ell projects to the house's rear. Of frame, the structure continues to be covered with weatherboards and shingles at its front facade gable. The house is vacant and has deteriorated greatly since it was first recorded in the early 1990s (Brown 1995:425). It appears to date from the early twentieth century and may once have had some connection, perhaps as the house of a teacher, with Guilford College, which stands to the north across Friendly Avenue (Plates 50 and 51).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable and, because of deterioration, its integrity is marginal at best. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.

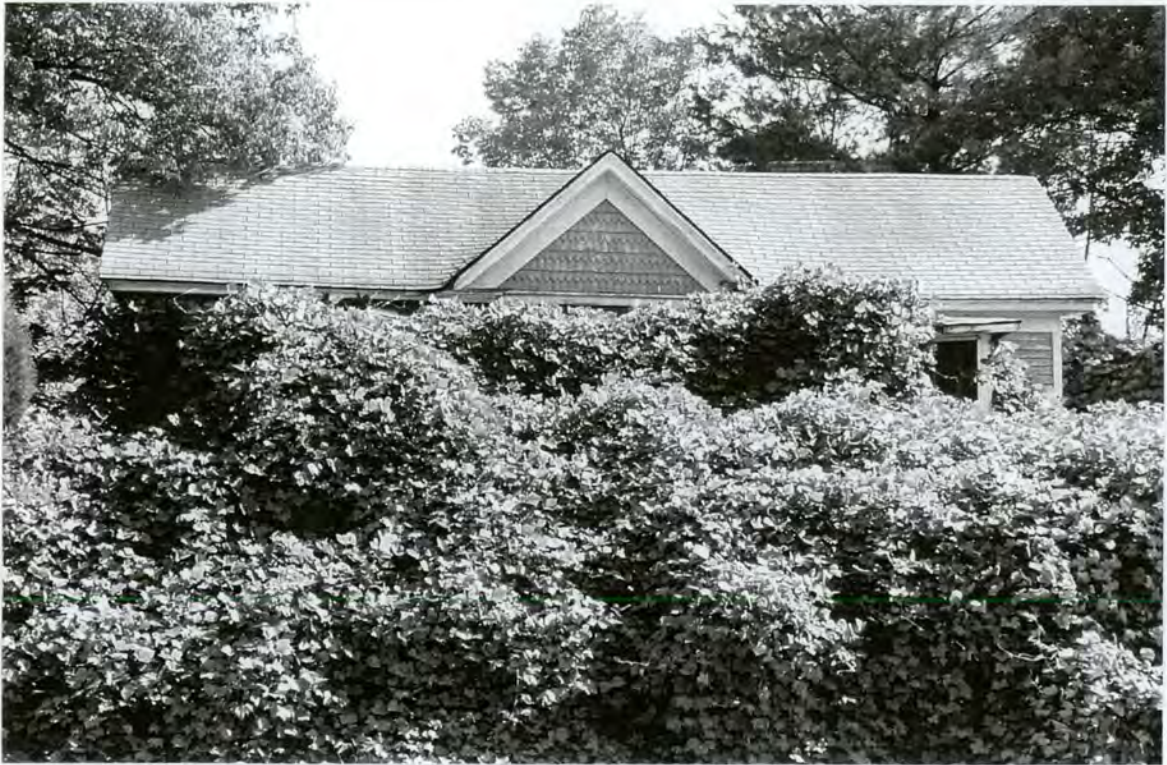


Plate 50 House (#29) - West front elevation



Plate 51 House (#29) - East rear elevation

Bungalow (#31)
529 College Road

This one-story, brick-veneered bungalow dates from the early twentieth century. It retains multi-pane-over-one sash and an attached wraparound porch with tapered brick posts on brick piers. Its foundation is also brick. Its gables are stuccoed (Plate 52).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 52 Bungalow (#31) - South side and east front elevations

Bungalow (#32)
528 College Road, Greensboro

One-and-a-half stories tall, this early twentieth-century bungalow retains shingle siding, multi-pane-over-one-sash, and a triangular pedimented front gable. It stands high on a brick foundation. Its principal alteration is the apparent enclosure of its front porch (Plate 53).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 53 Bungalow (#32) - West front and north side elevations

Talbert Building (#33)
5721 West Friendly Avenue

This functional, flat-roofed, two-story, brick commercial building bears an inset panel that says it was built in 1949 as the Talbert Building. Its front (north) first- and second-story windows have been altered. Its brick-veneered front facade, edged with brick quoins, also appears to be a later addition. The building is opposite Guilford College and was probably built to capture the trade of the college and the surrounding community of New Garden (Plates 54 and 55).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable and, because of changes to its front facade, it appears to have lost its integrity. Other better, more intact representatives of its form can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. Neither is there any intact commercial area along West Friendly Avenue, which is now dominated by modern strip stores. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this commercial building would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 54 Talbert Building (#33) - North front and west side elevations



Plate 55 Talbert Building (#33) - South rear and west side elevations

Bungalow (#34)
5604 Tomahawk Drive, Greensboro

This frame, early twentieth-century bungalow is one story tall. Its three-bay front elevation features a gable-front roof and an engaged porch with tapered wood posts on brick piers. It retains four-over-one sash, but has been covered with asbestos shingles (Plate 56).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 56 Bungalow (#34) - South front and east side elevations

Bungalow (#35)
5605 Tomahawk Drive, Greensboro

Brick veneer covers this one-story, early twentieth-century bungalow. At its gable-front facade it features a Craftsman-style porch with tapered wood posts on brick piers. A deep structure, it has side gables and an asphalt-shingled roof (Plate 57).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 57 Bungalow (#35) - North front and west side elevations

Bungalow (#36)

407 Dolley Madison Road, Greensboro

This one-story, early twentieth-century bungalow stands at the corner of Tomahawk and Dolley Madison roads. A gable-front frame structure, it also has side gables. Shingles mark its gables; otherwise it faced with modern siding. Its altered front porch is marked by turned posts on stuccoed piers. A small bay window marks its south side. Its foundation is concrete block (Plate 58).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 58 Bungalow (#36) - South side and east front elevations

House (#37)

321 Dolley Madison Road, Greensboro

This one-story, frame, single-pile house has an H-shape, with a central section with flanking gable-front wings. The north wing has cornice returns. The south wing, which has slightly different proportions, does not have these returns and is likely a later addition. The recessed front (east) porch between the wings is engaged, with square posts. The house appears to date from the early twentieth century (Plate 59).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable, even if its additive H-shape is unusual. Houses more representative of its type and period can be found throughout Greensboro (Brown 1995). Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for the Register under Criterion D.



Plate 59

House (#37) - East front and north side elevations

Bungalow (#38)

310 Dolley Madison Road, Greensboro

German siding covers this frame, one-story, early twentieth-century bungalow. It retains three-over-one sash, exposed rafter ends, and a Craftsman-style front (west) porch with tapered frame posts on brick piers. A jarring later addition is affixed to its rear. Two stories tall, single pile, and gable end, it is built of concrete block (Plate 60).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. Its architecture is not notable. Other better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995). Additionally, in terms of its architecture, it has lost its integrity because of its incongruous later addition. Further, it is not part of any potential historic district. Heavy residential and commercial development have occurred in its vicinity in the past 20 to 30 years. Although some early twentieth-century residences survive along Lindley, College, Savoy, Tomahawk, and Dolley Madison roads, they do not form a distinguishable, coherent, or significant entity. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of this bungalow would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 60

Bungalow (#38) - West front and north side elevations

House (#43)

West side of Brigham Road, 0.05 miles north of junction with Atchison Road, Greensboro vicinity

This small frame house, which is one story tall and aluminum sided, was built in the early twentieth century. Attached to its front gable is a Craftsman-style shed-roofed porch with tapered wooden posts centered on brick piers. It has an interior stuccoed chimney stack and a stuccoed foundation. Its two-over-two sash is a modern replacement. To its rear is a frame outbuilding largely covered with sheets of asphalt (Plate 61).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Additionally, in terms of its architecture, it has lost much of its integrity through alteration. Further, it is not part of any potential historic district. Some open fields and a few early twentieth-century dwellings survive near it, but its vicinity is becoming increasingly dominated by modern residential developments. Significant non-residential development is also taking place in its locale. The former rural character of the area has largely been destroyed. The resource is therefore not believed to be Register eligible, as part of a historic district or individually, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 61 House (#43) - East front and south side elevations

House (#44)

East side of SR 2133, 0.05 miles south of junction with SR 2016, Greensboro vicinity

This small gable-front house was erected in the early twentieth century. One story tall, it is built of frame now shielded by asbestos shingles. It is three bays wide, with six-over-one sash, a brick foundation, and interior brick chimney stacks. Its engaged Craftsman-style front porch features tapered wooden posts on brick piers (Plate 62).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Additionally, in terms of its architecture, it has lost much of its integrity through alteration. Further, it is not part of any potential historic district. Some open fields survive near it, but its vicinity is becoming increasingly dominated by large modern residential developments. Significant non-residential development is also taking place in its locale. The former rural character of the area has largely been destroyed. The resource is therefore not believed to be Register eligible, individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 62 House (#44) - West front and south side elevations

House (#46)

East side of SR 2016, 0.7 miles north of junction with SR 2133, Greensboro vicinity

The front block of this gable-end house appears to date from the turn of the century. It is two stories tall, but squat, and only one room deep. Three bays wide, it has an off-center entry and four-over-four sash at the first story of its front (west) facade. Two smaller four-light windows mark the second story above. A one-story ell to the block's rear may be original. A substantial one-story ell behind it is modern. Other notable alterations are aluminum siding and a concrete-block foundation and interior chimney stack. The front block's form and proportions suggest it could be built of log, but its openings are shallow. If logs form the walls, they must be quite narrow ones (Plate 63).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Additionally, in terms of its architecture, it has lost much of its integrity through alteration. Further, it is not part of any potential historic district. Some open fields and outbuildings survive near it, but its vicinity is becoming increasingly dominated by large modern residential developments. The former rural character of the area has largely been destroyed. The resource is therefore not believed to be Register eligible, as part of a historic district or individually, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 63 House (#46) - West front and north side elevations

House (#47)

West side of Edgefield Road, opposite junction with Fence Drive, Greensboro vicinity

This small frame house, which is one story tall and aluminum sided, was built in the early twentieth century. Attached to its front (east) facade is a hip-roofed porch supported by plain wooden posts. The porch roof and the house's principal gable-front roof are topped with seam metal. The front facade is three bays wide, with a central entry and one-over-one sash. The interior chimney stack is of brick. A later concrete-block flue stack rises from the rear of the north side elevation (Plate 64).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Further, it is not part of any potential historic district. Some open fields survive near it, but its vicinity is becoming increasingly dominated by modern residential developments. Significant non-residential development has occurred, and continues to occur, nearby. The former rural character of the area has been destroyed. The resource is therefore not believed to be Register eligible, either as part of a historic district or individually, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 64 House (#47) - East front and north side elevations

House (#48)

West side of SR 2130, 0.5 miles north of junction with Route 68, Greensboro vicinity

The front block of this house appears to date from the turn of the century. It is two stories tall, but relatively squat, and only one room deep. Three bays wide, it has a central entry at the first story of its front (east) facade. At the second story of this elevation is a facade gable with a full-height window flanked by a single narrow window just beneath the eaves. The two-over-two sash in the house's windows is modern. A hip-roofed Craftsman-style porch, with tapered wooden posts on brick piers, shields the front bays. The main block is additionally marked by corner boards and interior brick chimney stack. A small modern ell extends off the first story of the south side elevation. Projecting from the west rear facade is a one-story gabled ell that may be contemporary with the main block. Its south-facing porch, if original, has been much altered by enclosure and the addition of asbestos shingles. The rear elevation of the main block is also asbestos sided; the other elevations retain their original weatherboard cladding (Plates 65 and 66).

This resource is not believed to be eligible for listing in the National Register under any of the Register's four Criteria. It is not known to have any significant association with historical events or significant individuals and is therefore not believed to be Register-eligible under Criteria A or B. It is not architecturally notable. Many better, more intact representatives of its form and style can be found throughout Greensboro (Brown 1995) and Guilford County. Additionally, in terms of its architecture, it has lost much of its integrity through alteration of its sash and ell and the small modern addition at its south. Further, it is not part of any potential historic district. Some open fields survive near it, but its vicinity is dominated by houses built within the past 20 years and encroaching even-more-modern development. The former rural character of the area has essentially been destroyed. The resource is therefore not believed to be Register eligible, either individually or as part of a historic district, under Criterion C. From the perspective of historic architecture—archaeology is not addressed here—study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D..



Plate 65 House (#48) - East front elevation



Plate 66 House (#48) - South side and west rear elevations

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