



North Carolina Department of Cultural Resources

State Historic Preservation Office

David L. S. Brook, Administrator

James B. Hunt Jr., Governor
Betty Ray McCain, Secretary

Division of Archives and History
Jeffrey J. Crow, Director

July 24, 2000

MEMORANDUM

TO: William D. Gilmore, P.E., Manager
Project Development and Environmental Analysis Branch

FROM: David Brook (handwritten signature)
Deputy State Historic Preservation Officer

RE: US 17 from NC 43 to Mills Street, Bridgeton, Tip No. R-3403, Craven County, ER 00-7456

Thank you for your letter of March 23, 2000, concerning the above project.

For purposes of compliance with Section 106 of the National Historic Preservation Act, we concur that the following properties are eligible for the National Register of Historic Places:

- House (Property #39), House (Property #41)
House (Property #44), and House (Property #45) are all eligible for listing on the National Register of Historic Places as contributing resources with the Bridgeton Historic District.

The following properties are determined not eligible for listing in the National Register of Historic Places:

- Ralph Potter House (#28)
Gaskins Store (#12)
House/Garage (#43)

In addition, we have determined that both the Ferebee House (Property #6) and the Charles Keener House (Property #20) are both eligible for listing in the National Register of Historic Places under Criterion C for Architecture as rare examples of period revival styles that possess a high degree of integrity.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, please contact Renee Gledhill-Earley, Environmental Review Coordinator, at 919/733-4763.

DB:kgc

bc:
County
RF

Table with 3 columns: Location, Mailing Address, and rows for ADMINISTRATION, ARCHAEOLOGY, RESTORATION, SURVEY & PLANNING.

5-1

RE: US 17 from NC 43 to Mills Street, Bridgeton, TIP No. R-3403,  
Craven County, ER 00-7456

11-5 March 23, 2000

30-1

House (Property # 39), House (Property # 41),  
House (Property # 44), and House (Property # 45) are all eligible for  
listing on the National Register of Historic Places as contributing  
resources within the Bridgeton Historic District.

30-2

Ralph Potter House (#28)  
Gaskins Store (#12)  
House/Garage (#43)

In addition, we have determined that both the Ferebee House  
(Property # 6) and the Charles Keener House (Property # 20) are both  
eligible for listing in the National Register of Historic Places under  
Criterion C for Architecture as rare examples of period revival styles that  
possess a high degree of integrity.

End

Cc: Brown/Montgomery  
County  
RF

*Type  
6 DOES  
Z*





U.S. DEPARTMENT OF TRANSPORTATION  
FEDERAL HIGHWAY ADMINISTRATION  
310 New Bern Avenue, Suite 410  
Raleigh, North Carolina 27601  
March 23, 2000

IN REPLY REFER TO  
HO-NC

RECEIVED  
MAR 28 2000  
HISTORIC PRESERVATION OFFICE

Ref  
ER 00-7456

Mr. David Brook  
Deputy State Historic Preservation Officer  
Department of Cultural Resources  
109 East Jones Street  
Raleigh, NC 27601

Subject: Federal-aid Project STPNHF-17(24), R-3403, Craven County - Section 106  
Consultations - US 17 From NC 43 to Mills Street in Bridgeton

Dear Mr. Brook:

Enclosed are three copies of an Addendum to a Phase II (Intensive) Historic Architectural Resources Survey Report prepared for the subject project. The addendum was prepared to address review comments contained in your letter to Mr. William Gilmore, dated November 2, 1999. As a result of reevaluating nine properties, the report concludes that four properties, the Ferebee House (#6), the Charles Keener House (#20), the Ralph Potter House (#28) and the Gaskins Store (#12) are not eligible for the National Register. Four of the reevaluated properties, House #39, House #41, House #44 and House #45, were recommended as eligible for the National Register and considered to be within and contributing properties to the National Register-eligible Bridgeton Historic District. House # 43 was considered to be within, but not contributing to, the historic district.

Based upon our review of the Addendum, the Federal Highway Administration has determined that the properties shown in the enclosed report as House #39, House #41, House #44 and House #45 are eligible for the National Register of Historic Places and that the boundaries of the National Register-eligible Bridgeton Historic District should be extended to include these properties. Your concurrence in this determination is requested.

Questions concerning this report can be directed to John Wadsworth of this office at 856-4350, extension 108, or to Ms. Barbara Church with the North Carolina Department of Transportation at 733-7844, extension 298.

Sincerely yours,

For Nicholas L. Graf, P.E.  
Division Administrator

Enclosures

cc: Mr. William D. Gilmore, PE, NCDOH

MAR 30 2000

**ADDENDUM  
TO A PHASE II (INTENSIVE)  
HISTORIC ARCHITECTURAL RESOURCES  
SURVEY REPORT  
FOR US 17 FROM NC 43 (SR 1482) TO  
MILLS STREET, BRIDGETON  
CRAVEN COUNTY, NORTH CAROLINA**

**TIP NO. R-3403  
STATE PROJECT NO. 8.117601  
FEDERAL AID PROJECT NO. STPNHF-17(24)  
ER 00-7456**

*Prepared For:*

**PROJECT DEVELOPMENT AND ENVIRONMENTAL ANALYSIS BRANCH  
NORTH CAROLINA DEPARTMENT OF TRANSPORTATION**

*Prepared By:*

**Marvin A. Brown**

**URS GREINER WOODWARD CLYDE, INC.  
Raleigh, North Carolina 27604-1008  
(919) 850-9511**

**MARCH 2000**



**ADDENDUM  
TO A PHASE II (INTENSIVE)  
HISTORIC ARCHITECTURAL RESOURCES  
SURVEY REPORT  
FOR US 17 FROM NC 43 (SR 1482) TO  
MILLS STREET, BRIDGETON  
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ER 00-7456**

**Prepared For:**

**Project Development and Environmental Analysis Branch  
North Carolina Department of Transportation**

**Prepared By:**

**URS Greiner Woodward Clyde, Inc.  
3109 Poplarwood Court, Suite 301  
Raleigh, North Carolina 27604-1008  
919-850-9511**

**March 2000**

*Marvin A. Brown*

*3-21-00*

**Marvin A. Brown, Principal Investigator  
URS Greiner Woodward Clyde**

**Date**

*Barbara Church*

*3/21/00*

**Barbara Church, Supervisor  
Historic Architectural Resources Section  
North Carolina Department of Transportation**

**Date**

## MANAGEMENT SUMMARY

The North Carolina Department of Transportation (NCDOT) proposes to widen US 17 from NC 43 (SR 1482) to Mills Street in Bridgeton, Craven County. NCDOT plans to widen US 17 from its current two-lane cross-section to a four-lane, curb-and-gutter facility with ten-foot berms. The length of this project (R-3403) is approximately eleven miles. Additional right-of-way will be required.

Several previous projects overlap the area of potential effect (APE) for R-3403. Ruth Little's survey for the US 17 New Bern Bypass (R-2301) in 1990 covered the northern end of the subject project in the Ernul vicinity, as did a subsequent survey in 1994, which an NCDOT staff architectural historian conducted as an addendum to Ms. Little's survey. A second project, R-2513, also overlaps the northern end of the subject project near Ernul. In 1995 an NCDOT staff architectural historian conducted a Phase II (Abridged) survey for widening US 17 from the proposed New Bern bypass in the Askin vicinity north to the proposed Washington bypass. The southern end of the project area was covered by Ms. Little as part of her survey for B-2531 and B-2532.

In March, 1999, NCDOT staff architectural historian Carrie Albee completed a report on the Phase I (Reconnaissance) survey of historic architectural resources for R-3403. That report incorporated six properties in the APE that had been determined eligible for the National Register of Historic Places as a result of the survey work done for R-2513, B-2531, and B-2532. The report identified 39 additional properties over 50 years of age. In a meeting on March 8, 1999, NCDOT and the North Carolina State Historic Preservation Office (SHPO) concurred that these 39 properties were not eligible for the National Register and not worthy of further evaluation.

In August, 1999, consultant Scott C. Owen consolidated the findings of all previous reports covering the APE for R-3403 into one Phase II (Intensive) report. This report included evaluations of the six properties that had previously been determined eligible for National Register listing. It did not evaluate the 39 properties that were determined not eligible for Register listing and not worthy of further evaluation, although it did include photographs of 38 of these resources in an appendix. (One resource, assigned number 7, is no longer extant.)

On November 2, 1999, following review of the Owen report, the SHPO requested that NCDOT evaluate nine of the 39 resources that were initially determined ineligible. NCDOT agreed and, under the terms of an open-end contract for historic architectural services, engaged URS Greiner Woodward Clyde (URSGWC) to evaluate the nine resources. Marvin A. Brown, Senior Architectural Historian with URSGWC, photographed, researched, and assessed the nine resources. He reviewed the files on New Bern and Craven County architecture at the SHPO as well, to identify comparable resources. At the request of NCDOT, he also drove much of Craven County in search of early rural and small town stores, in order to develop a context within which to assess the eligibility of a country store that was at issue. This addendum to the August, 1999, Phase II survey records the results of the additional fieldwork and research.



URSGWC recommends that the boundaries of the National Register-eligible Bridgeton Historic District be extended to include the five re-evaluated properties at its edges. Four of these properties—## 39, 41, 44, and 45—are recommended as contributing resources within the district. One of them—#43—is recommended as a noncontributing resource within the district. The other four re-evaluated resources—the Ferebee House (#6), the Charles Keener House (#20), the Ralph Potter House (#28), and the Gaskins Store (#12)—are recommended as ineligible for National Register listing. The following summarizes the status and evaluation of these resources:

**TABLE 1**

**RECOMMENDED NATIONAL REGISTER ELIGIBILITY OF RESOURCES  
REEVALUATED IN ADDENDUM**

**NDCOT**

<b><u>Survey ##</u></b>	<b><u>Name</u></b>	<b><u>Status History</u></b>
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*RESOURCES RECOMMENDED AS WITHIN AND CONTRIBUTING TO THE NATIONAL REGISTER-ELIGIBLE BRIDGETON HISTORIC DISTRICT*

39	House	Assessed in Section III
41	House	Assessed in Section III
44	House	Assessed in Section III
45	House	Assessed in Section III

*RESOURCES RECOMMENDED AS WITHIN AND NOT CONTRIBUTING TO THE NATIONAL REGISTER-ELIGIBLE BRIDGETON HISTORIC DISTRICT*

43	House/Garage	Assessed in Section III
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*RESOURCES RECOMMENDED AS NOT ELIGIBLE FOR THE NATIONAL REGISTER*

6	Ferebee House	Assessed in Section III
20	Charles Keener House	Assessed in Section III
28	Ralph Potter House	Assessed in Section III
12	Gaskins Store	Assessed in Section III

## TABLE OF CONTENTS

Management Summary .....	i
List of Tables, Figures, and Plates .....	iv
I. Introduction .....	1
II. Methodology .....	5
III. Property Inventory and Evaluations .....	6
A. Resources Recommended as Within and Contributing to the National Register- Eligible Bridgeton Historic District .....	6
House (#39) .....	6
House (#41) .....	9
House (#44) .....	11
House (#45) .....	14
B. Resources Recommended as Within and Not Contributing to the National Register- Eligible Bridgeton Historic District .....	16
House/Garage (#43) .....	16
C. Resources Recommended as Not Eligible for the National Register .....	18
Ferebee House (#6) .....	18
Charles Keener House (#20) .....	22
Ralph Potter House (#28) .....	26
Gaskins Store (#12) .....	30
IV. Bibliography .....	42
V. Appendix - November 2, 1999, North Carolina SHPO Reevaluation Request Letter . . .	44



## LIST OF FIGURES AND PLATES

<i>TABLE</i>	<i>TITLE</i>	<i>PAGE</i>
1	Recommended National Register Eligibility of Resources Reevaluated in Addendum .....	ii

<i>FIGURE</i>	<i>TITLE</i>	<i>PAGE</i>
1	Project Area Map .....	2
2	Area of Potential Effects (and Property Inventory) Map .....	3
2 cont.	Area of Potential Effects (and Property Inventory) Map .....	4
3	Bridgeton Historic District - Revised .....	7

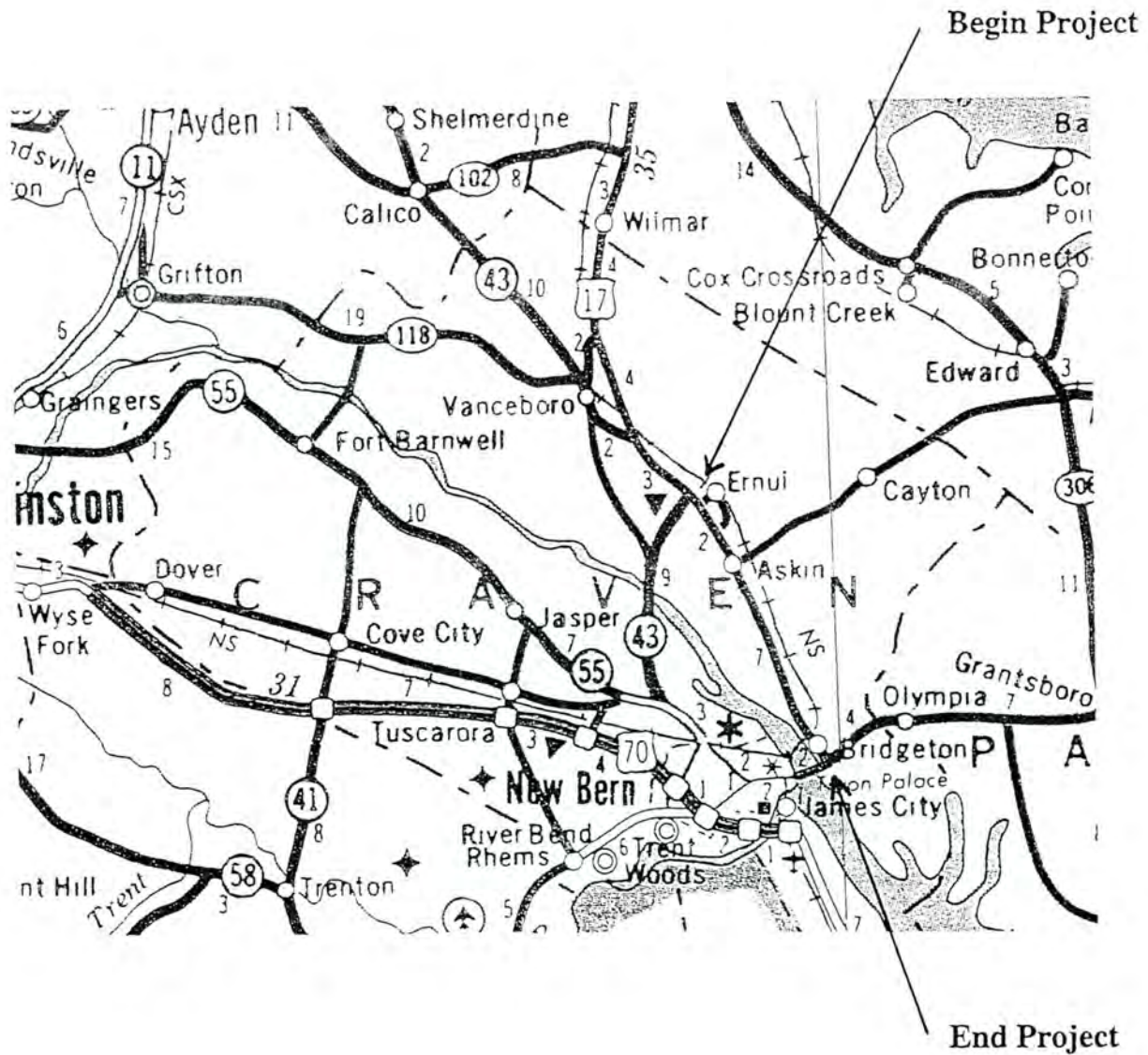
<i>PLATE</i>	<i>TITLE</i>	<i>PAGE</i>
1	House (#39)—west front and south side elevations .....	8
2	House (#39)—north side and east rear elevations .....	8
3	House (#41)—west front and south side elevations .....	10
4	House (#41)—east rear elevation .....	10
5	House (#44)—west front and south side elevations .....	12
6	House (#44)—south side and east rear elevations .....	12
7	House (#44)—west and north elevations of brick outbuilding and garage .....	13
8	House (#45)—west front and north side elevations .....	15
9	House (#45)—east rear and north elevations .....	15
10	House/Garage (#43)—west and south elevations .....	17
11	House/Garage (#43)—south and east elevations .....	17
12	Ferebee House (#6)—east front elevation .....	20
13	Ferebee House (#6)—south side and west rear elevations .....	20
14	Ferebee House (#6)—north side elevation .....	21
15	Ferebee House (#6)—east and north elevations of garage/apartment .....	21
16	Charles Keener House (#20)—east front and south side elevations .....	24
17	Charles Keener House (#20)—south side and west rear elevations .....	24
18	Charles Keener House (#20)—north side elevation .....	25
19	Charles Keener House (#20)—east and north elevations of outbuildings .....	25
20	Ralph Potter House (#28)—east front and north side elevations .....	28
21	Ralph Potter House (#28)—east front and south side elevations .....	28
22	Ralph Potter House (#28)—west rear elevation .....	29
23	Ralph Potter House (#28)—north side and west rear elevations .....	29
24	Gaskins Store (#12)—east front and north side elevations .....	35
25	Gaskins Store (#12)—east front and south side elevations .....	35
26	Gaskins Store (#12)—west rear and south side elevations .....	36
27	Gaskins Store (#12)—north side and west rear elevations .....	36

<i>PLATE</i>	<i>TITLE</i>	<i>PAGE</i>
28	Abner Wetherington Store, SR 1225, Clarks .....	37
29	Chaney's General Store, SR 1628, Ernul .....	37
30	H.C. Woods Store, SR 1256, Cove City vicinity .....	38
31	O. Paramore Store, NC 43, Vanceboro vicinity .....	38
32	Small store without overhang SR 1700, North Harlowe vicinity .....	39
33	Sammy Riggs Store, SR 1232, Perfection vicinity .....	39
34	Buzzard's Corner Store, NC 55, Perfection vicinity .....	40
35	Jack Russell Store and Dance Hall, NC 55, Fort Barnwell vicinity .....	40
36	Clipped-gable front store, SR 1711, Blades vicinity .....	41



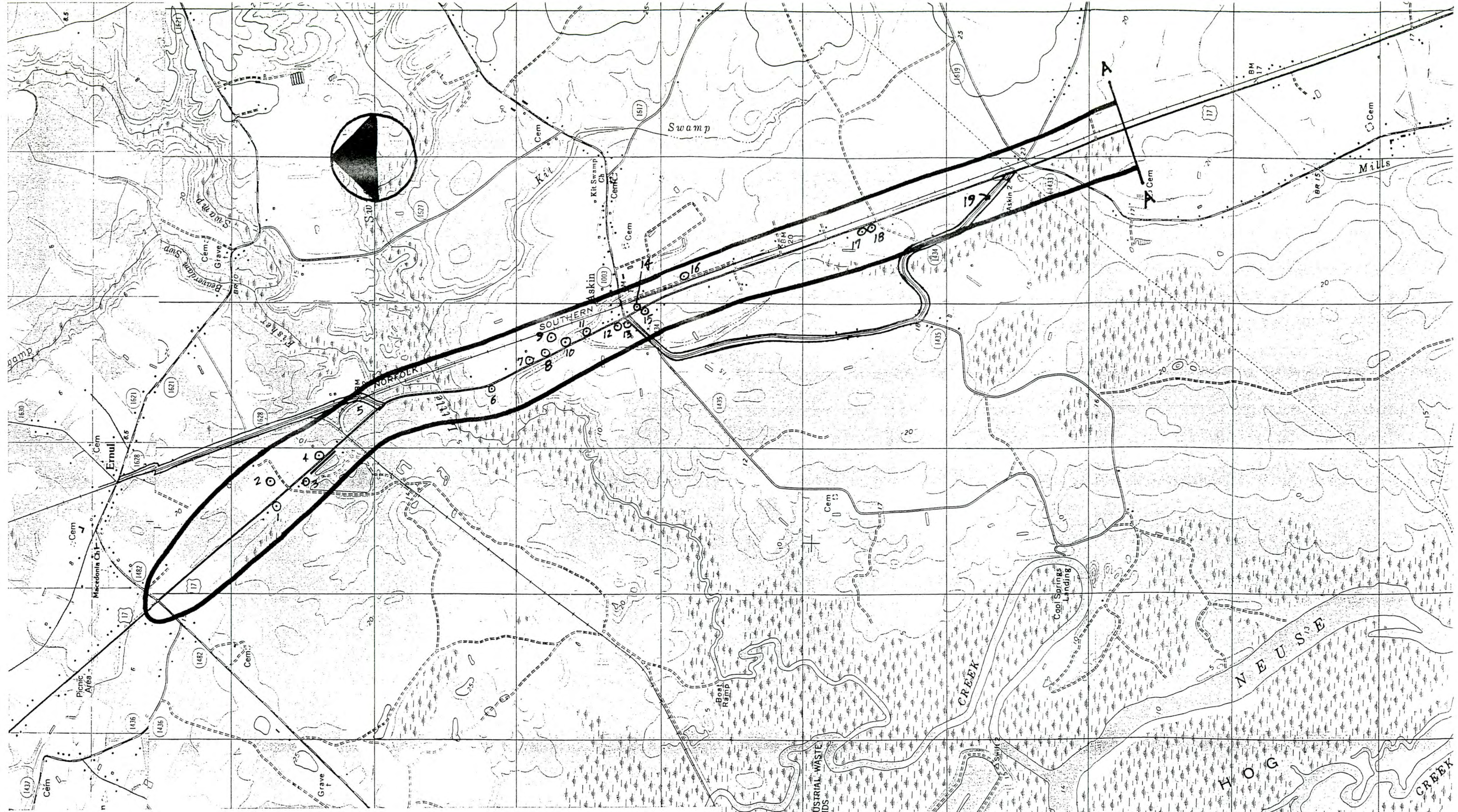
## I. INTRODUCTION

This addendum supplements a survey and report (Owen 1999) prepared in order to identify historic architectural resources located within the area of potential effect (APE) of this project (R-3403). That report was prepared as part of the environmental studies conducted by the North Carolina Department of Transportation (NCDOT) and documented by an Environmental Impact Statement (EIS). That report, and this addendum, were prepared as a technical addendum to the EIS and as part of the documentation of compliance with the National Environmental Policy Act and the National Historic Preservation Act of 1966, as amended. That report with this addendum are on file at NCDOT and are available for review by the general public. Section 106 of the National Historic Preservation Act of 1966, as amended, 16 U.S.C. Section 470(f), requires Federal agencies to take into account the effect of their undertakings on properties included in or eligible for inclusion in the National Register of Historic Places and to afford the Advisory Council on Historic Preservation a reasonable opportunity to comment on such undertakings.



**Fig. 1 Project Area Map**  
 Approximate Scale: 1" = 6½ Miles





**Fig. 2 Area of Potential Effects Map**  
 Scale: 1 Inch = 2,000 Feet

**—** APE Boundary



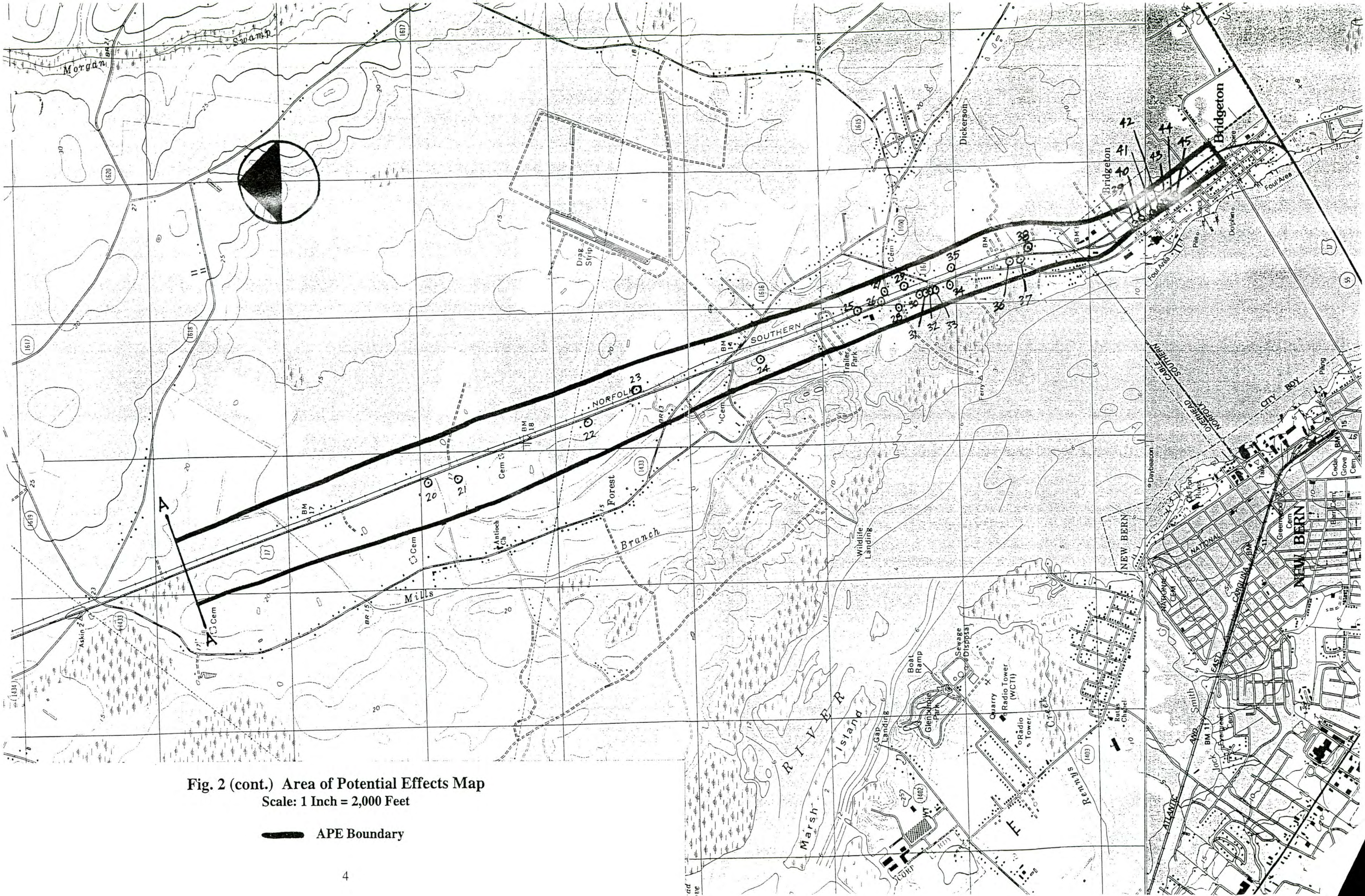


Fig. 2 (cont.) Area of Potential Effects Map  
 Scale: 1 Inch = 2,000 Feet

**—** APE Boundary



## II. METHODOLOGY

The survey methodology for this project consisted of a field evaluation of the nine resources at issue, site-specific research, and a field survey of Craven County's rural and small town store buildings. The fieldwork was conducted by Senior Architectural Historian Marvin A. Brown of URS Greiner Woodward Clyde in February, 1999. Mr. Brown also did the research and prepared this report. The purpose of the field evaluation was to record, evaluate, and assess the National Register eligibility of the nine previously identified resources. At the request of the North Carolina Department of Transportation (NCDOT), Mr. Brown also drove much of Craven County in search of early rural and small town stores, in order to develop a context within which to assess the eligibility of a country store that was at issue. Historical and contextual questions were primarily answered through the use of six resources: Craven County deed books; Craven county tax assessments; conversations with property owners; Peter B. Sandbeck's *Historic Architecture of New Bern and Craven County, North Carolina* (1988); Sandbeck's New Bern and Craven County survey forms on file at the North Carolina State Historic Preservation Office in Raleigh; and files, particularly those relating to country stores in eastern North Carolina, located at the Project Development and Environmental Analysis Branch of NCDOT in Raleigh.

### III. PROPERTY INVENTORY AND EVALUATIONS

#### *A. Resources Recommended as Within and Contributing to the National Register-Eligible Bridgeton Historic District*

##### **HOUSE (#39) 914 C Street, Bridgeton**

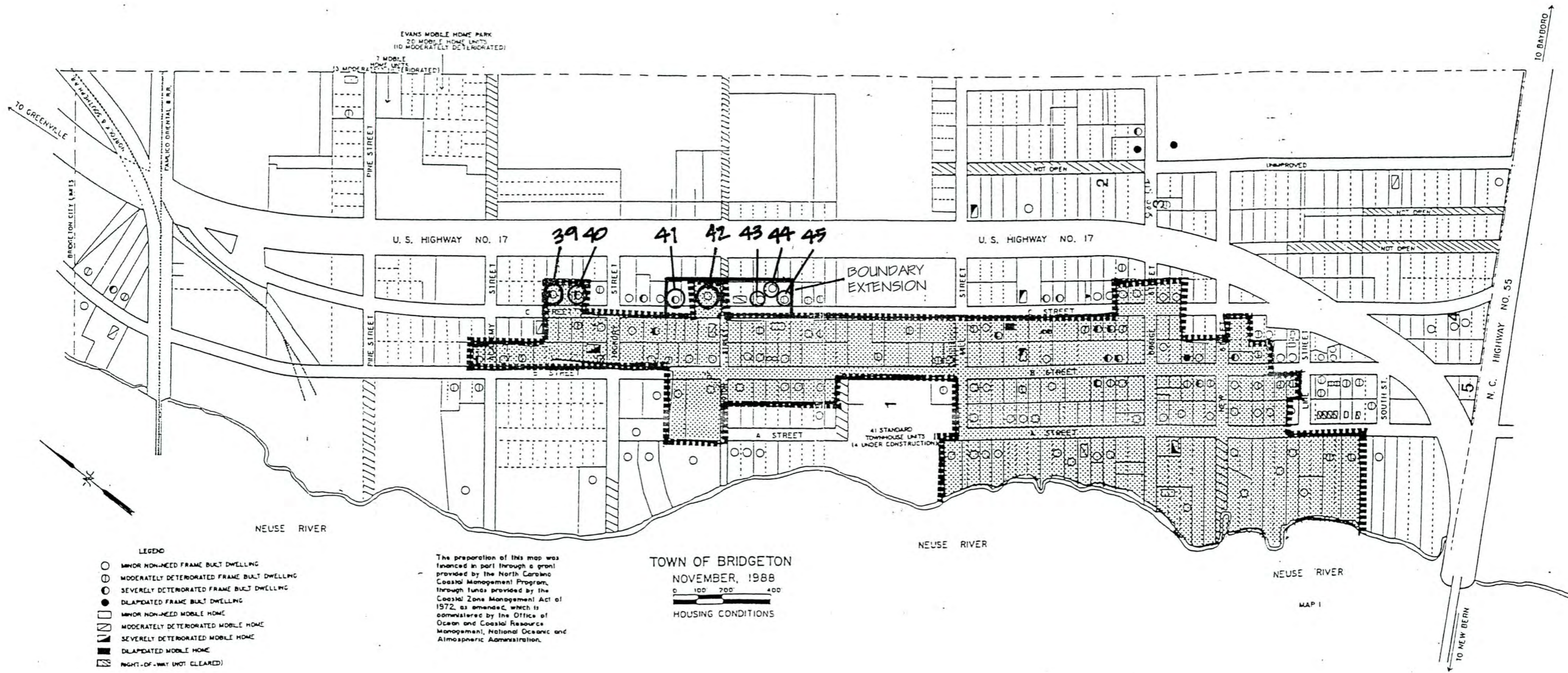
###### *History*

The Bridgeton Historic District was identified as noteworthy during a historic architectural survey for the replacement of the US 17 Neuse River and SR 1004 Trent River bridges. In a National Register-eligibility recommendation made as part of the survey report, the district was described as a “well-preserved early twentieth century community that has local significance both for its architecture and its history.” It was recommended National Register-eligible under Criterion A, for community development for the 1905-1941 period, and under Criterion C for its “significant concentration of early twentieth century architecture.” The evaluation noted that most buildings within the district contributed to its integrity, in spite of typical alterations such as the addition of artificial siding and the replacement of porches (Little 1991:17-27). The recommendation was accepted and the Bridgeton Historic District was declared eligible for listing in the National Register in 1992.

###### *Evaluation*

The house at 914 C Street was included as a contributing resource within the initial recommended boundaries of the Bridgeton Historic District. It was assigned the number 72 in the district evaluation and the number 39 as part of the current project. Because of a mapping error, the house was not identified as part of the district during the previous Phase II (Intensive Level) survey for this project. The original evaluation of the house noted that it was built in the 1920s and described it as a “2-story gable front, with original front porch with turned posts, 6/6 window sash, and asbestos wall shingles” (Little 1991:24). Its appearance has changed little in the intervening decade and it is therefore still believed to be eligible for the National Register as a contributing resource within the Bridgeton Historic District (Figure 3) (Plates 1 and 2).





**Fig. 3 Bridgeton Historic District -Revised**  
 National Register Boundary Map  
 Scale: 1 Inch = Approx. 400 Feet





Plate 1:  
House (#39)—  
west front and  
south side  
elevations



Plate 2:  
House (#39)—  
north side and  
east rear  
elevations



**HOUSE (#41)**  
**808 C Street, Bridgeton**

*History and Description*

The Bridgeton Historic District was identified as noteworthy during a historic architectural survey for the replacement of the US 17 Neuse River and SR 1004 Trent River bridges. In a National Register-eligibility recommendation made as part of the survey report, the district was described as a “well-preserved early twentieth century community that has local significance both for its architecture and its history.” It was recommended National Register-eligible under Criterion A, for community development for the 1905-1941 period, and under Criterion C for its “significant concentration of early twentieth century architecture.” The evaluation noted that most buildings within the district contributed to its integrity, in spite of typical alterations such as the addition of artificial siding and the replacement of porches (Little 1991:17-27). The recommendation was accepted and the Bridgeton Historic District was declared eligible for listing in the National Register in 1992.

This frame workingman’s foursquare probably dates from the 1910s or 1920s. It is one story tall, five bays wide, and has a boxy footprint. Its most notable features are its porch, which is supported by four original slender columns; its central entry, which is topped by a two-light transom; and its hipped roof. Alterations include asphalt shingling of its principal and porch roofs, concrete block infill between the original brick piers of its foundation, and concrete block flue stacks added at its north side and east rear elevations.

*Evaluation*

The form, scale, condition, and period of construction of this modest workingman’s foursquare are similar to those of other resources that contribute to the Bridgeton Historic District. Its alterations are also similar to those of many other contributing resources. It is therefore recommended as eligible for National Register listing as a contributing resource within the Bridgeton Historic District (Figure 3, above) (Plates 3 and 4).



Plate 3:  
House (#41)—  
west front and  
south side  
elevations



Plate 4:  
House (#41)—  
east rear  
elevation



**HOUSE (#44)**  
**714 C Street, Bridgeton**

*History and Description*

The Bridgeton Historic District was identified as noteworthy during a historic architectural survey for the replacement of the US 17 Neuse River and SR 1004 Trent River bridges. In a National Register-eligibility recommendation made as part of the survey report, the district was described as a “well-preserved early twentieth century community that has local significance both for its architecture and its history.” It was recommended National Register-eligible under Criterion A, for community development for the 1905-1941 period, and under Criterion C for its “significant concentration of early twentieth century architecture.” The evaluation noted that most buildings within the district contributed to its integrity, in spite of typical alterations such as the addition of artificial siding and the replacement of porches (Little 1991:17-27). The recommendation was accepted and the Bridgeton Historic District was declared eligible for listing in the National Register in 1992.

This frame bungalow probably dates from the 1910s or 1920s. It is one story tall and topped by a gable-end, seam-metal roof. Its Craftsman-style elements are its most notable features. They include four-over-one sash; paired and tripled windows at the front (west) elevation; a deep front porch edged by square columns on brick piers; and a decorative brick entry stair. Alterations include the addition of aluminum siding. An aluminum-sided frame shed, a tiny brick outbuilding that might once have held a generator, and a frame German-sided garage stand to the house’s rear. These all appear to date from the district’s period of significance. Also to the rear of the bungalow is a garage/dwelling (#43), discussed separately below, that appears to be less than 50 years old.

*Evaluation*

The form, scale, condition, and period of construction of this modest bungalow are similar to those of other resources that contribute to the Bridgeton Historic District. Its alterations are also similar to those of many other contributing resources. It is therefore recommended as eligible for National Register listing as a contributing resource within the Bridgeton Historic District. Also recommended as contributing resources are the three small outbuildings to the house’s rear (Figure 3, above) (Plates 5, 6, and 7). The fourth outbuilding, a garage/dwelling (#43), is evaluated separately below.



Plate 5:  
House (#44)—  
west front and  
south side  
elevations



Plate 6:  
House (#44)—  
south side and  
east rear  
elevations



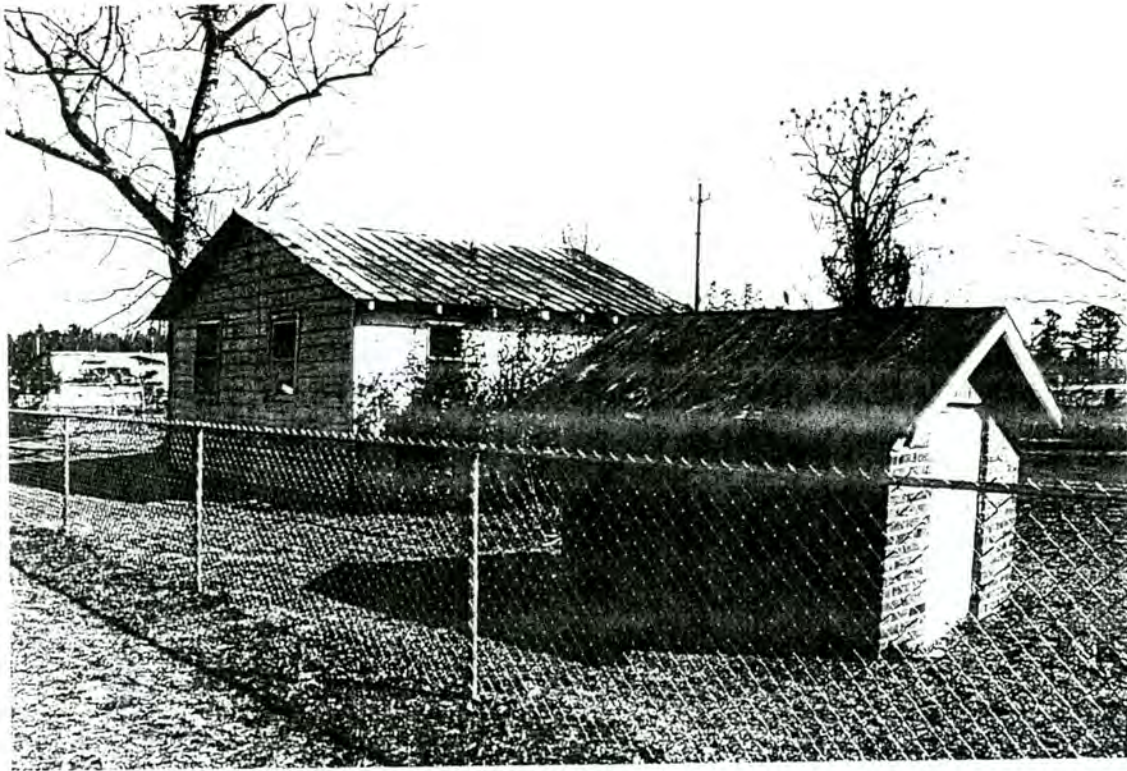


Plate 7:  
House (#44)–  
west and north  
elevations of  
garage and  
brick  
outbuilding

**HOUSE (#45)**  
**710 C Street, Bridgeton**

*History and Description*

The Bridgeton Historic District was identified as noteworthy during a historic architectural survey for the replacement of the US 17 Neuse River and SR 1004 Trent River bridges. In a National Register-eligibility recommendation made as part of the survey report, the district was described as a “well-preserved early twentieth century community that has local significance both for its architecture and its history.” It was recommended National Register-eligible under Criterion A, for community development for the 1905-1941 period, and under Criterion C for its “significant concentration of early twentieth century architecture.” The evaluation noted that most buildings within the district contributed to its integrity, in spite of typical alterations such as the addition of artificial siding and the replacement of porches (Little 1991:17-27). The recommendation was accepted and the Bridgeton Historic District was declared eligible for listing in the National Register in 1992.

This one-story frame house is a small, basic box with a nod toward the Craftsman style via its three-over-one windows and the exposed rafter ends of its gable-front roof and attached gabled porch. Its alterations include asbestos-shingle siding, asphalt-shingle roofing, and the screened enclosure of its porch. It was likely built in the 1920s or, perhaps, the 1930s.

*Evaluation*

The form, scale, condition, and period of construction of this plain dwelling are similar to those of other resources that contribute to the Bridgeton Historic District. Its alterations are also similar to those of many other contributing resources. It is therefore recommended as eligible for National Register listing as a contributing resource within the Bridgeton Historic District (Figure 3, above) (Plates 8 and 9).





Plate 8:  
House (#45)–  
west front and  
north side  
elevations

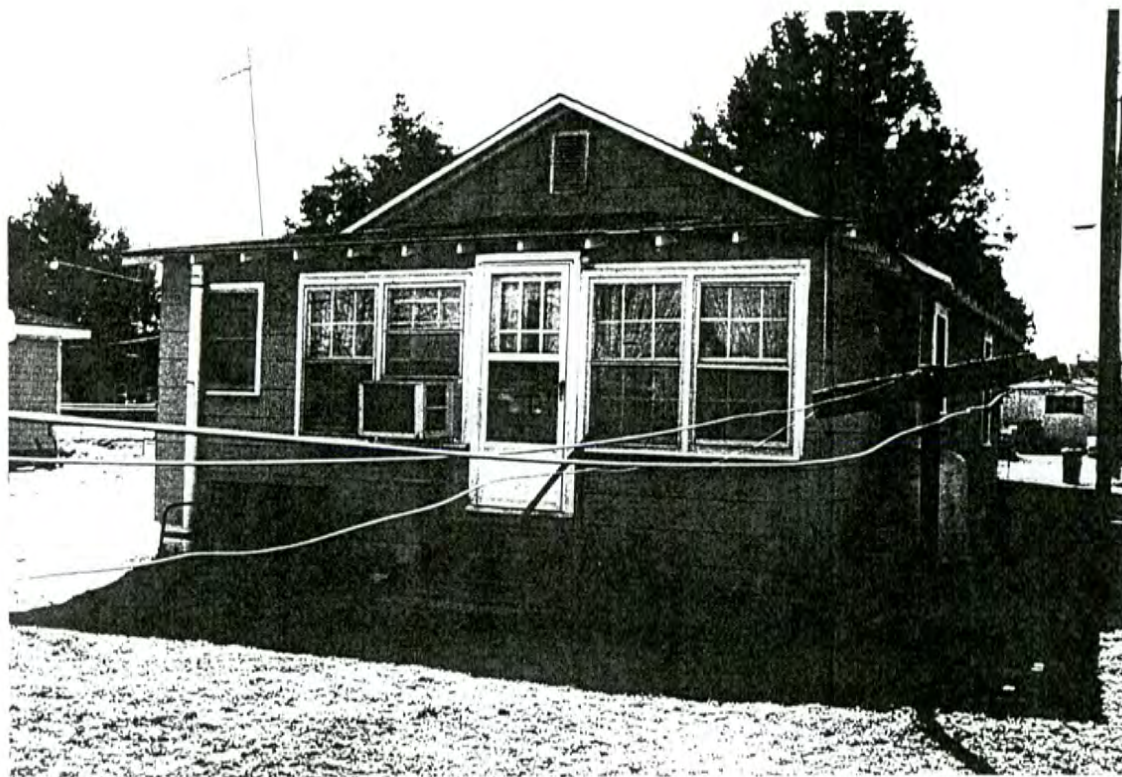


Plate 9:  
House (#45)–  
east rear and  
north  
elevations

*B. Resources Recommended as Within and Not Contributing to the National Register-Eligible  
Bridgeton Historic District*

**HOUSE/GARAGE (#43)  
Southeast of 914 C Street, Bridgeton**

*History and Description*

The Bridgeton Historic District was identified as noteworthy during a historic architectural survey for the replacement of the US 17 Neuse River and SR 1004 Trent River bridges. In a National Register-eligibility recommendation made as part of the survey report, the district was described as a “well-preserved early twentieth century community that has local significance both for its architecture and its history.” It was recommended National Register-eligible under Criterion A, for community development for the 1905-1941 period, and under Criterion C for its “significant concentration of early twentieth century architecture.” The evaluation noted that most buildings within the district contributed to its integrity, in spite of typical alterations such as the addition of artificial siding and the replacement of porches (Little 1991:17-27). The recommendation was accepted and the Bridgeton Historic District was declared eligible for listing in the National Register in 1992.

This two-story, gable-front structure has a two-bay garage at its first story and an apartment above. Built of concrete block at the first story and unidentified aluminum-sided material at the second, it appears to be less than 50 years old. Entry to its dwelling unit is through an exterior stair at its north side.

*Evaluation*

This structure is subsidiary to the house (#44) that stands to its front, the lot of which it shares. It is therefore within the recommended extended boundaries of the Bridgeton Historic District, which take in that house. Because it appears to be less than 50 years old, and is of no identified architectural or historic note, it is recommended as a noncontributing resource within the historic district. Even within the context of the exceedingly modest and often much-altered architecture of the district, it is not believed to contribute to the district’s integrity (Figure 3, above) (Plates 10 and 11).



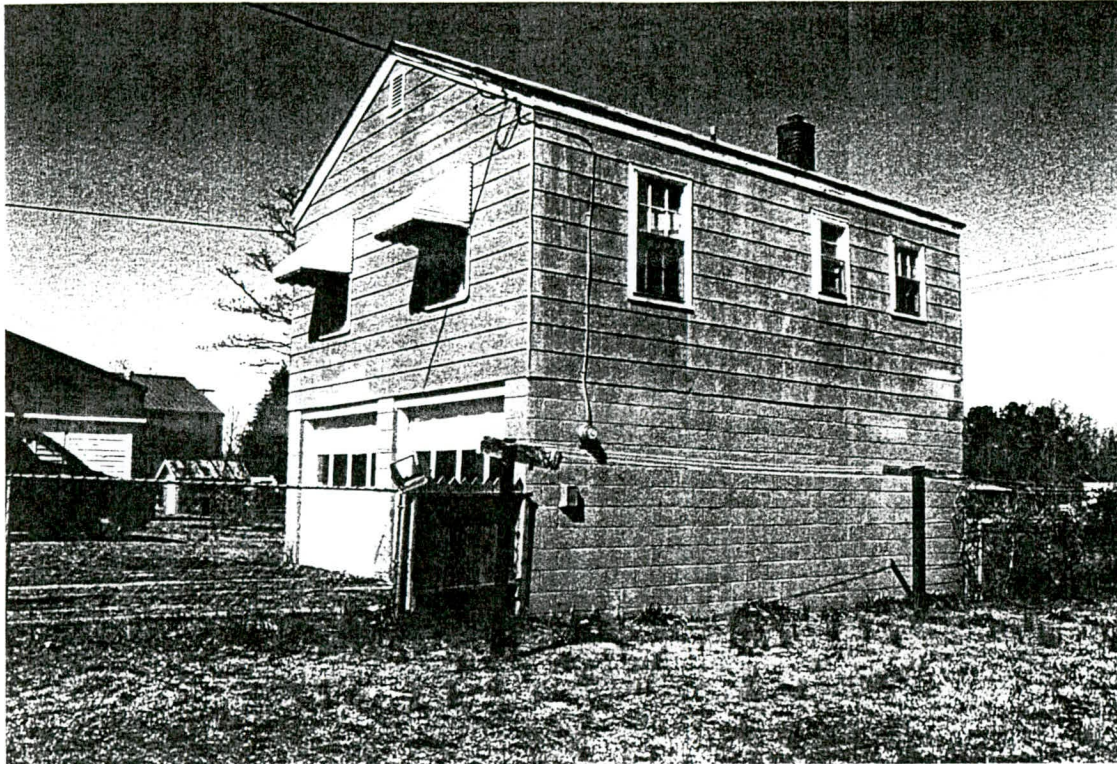


Plate 10:  
House (#43)—  
west and south  
elevations



Plate 11:  
House (#43)—  
south and east  
elevations



### *C. Resources Recommended as Not Eligible for the National Register*

#### **FEREBEE HOUSE (#6) 4635 Highway 17 North, Askin vicinity**

##### *History*

Bessie D. and Michael J. Trahan acquired this house from the estate of Sina Ipock Ferebee in 1992 (Craven County Deed Book 1347/Page 301). Sina Ferebee, the wife of David W. Ferebee, died in 1989 and willed the property to her children, who sold it to the Trahans. According to Ms. Trahan, Sina and David Ferebee were the house's only previous owners. It is not clear from the deed record when they acquired the property, although it may have been in the early 1940s. Craven County tax records state that the house was erected in 1952 and that its separate garage/apartment was raised the following year. The house may well date from the early 1950s or was perhaps built a decade earlier by the Ferebees. The garage/apartment to the house's southeast, identified as dating from 1953 in the tax records, was probably built at the same time as the house. The house and garage currently occupy an approximately 25-acre tract near the crossroads community of Askin.

##### *Description*

The Ferebee House is two stories tall and built of frame clad in brick veneer (Plates 12, 13, and 14). Its east front elevation has a Tudor Revival-style appearance, with two steeply pitched gables that sweep down at one end. The smaller of the two gables tops the projecting entryway, which is marked by a round-headed door and doorway and adjacent round-headed window. The principal gable contains a projecting wing room within the single deep pitch of its gable. From its other three elevations, the house is much more undistinguished in appearance. From the south and from its west rear, it appears to be a hip-roofed structure. From the north it looks gable-ended. The front elevation has a stoop but no porch. A one-story screened-in porch that wraps around the rear and north side elevations is probably original, for its base is formed of wire-cut bricks that match those of the main body of the structure. The interior of the house was not viewed. Ms. Trahan was home with a sick baby and did not invite the surveyor inside. To the southwest of the house is a subsidiary two-story building with a two-bay brick-walled garage at its first story and a frame apartment above. It appears to be contemporary with the house (Plate 15).

##### *Evaluation*

The Tudor Revival style was one of a group of revival styles built throughout the country and, to a lesser degree, New Bern and Craven County, in the early twentieth century. Perhaps because the style was most popular from the 1920s into the early 1940s, it is found in the early twentieth-century former New Bern suburbs of Ghent and DeGraffenried Park more than in any other location in the town and county. The finest example of the style is the Mack Lupton House (1935) at 1510 Tryon



Road in DeGraffenried Park. A large brick dwelling with label moldings, steeply pitched gables, and crenellations, it is pictured in the *Historic Architecture of New Bern and Craven County*, which refers to it as “New Bern’s major example of the Jacobethan Revival style” (Sandbeck 1988: 169, 439). In the National Register-listed Ghent Historic District, a number of more modest, brick-veneered, Tudor Revival-style or -influenced dwellings survive as well. The one-story house at 1413 Rhem Street (c.1950) and one-and-a-half-story dwelling at 1707 Spencer Avenue (c.1950) are noncontributing elements of the district. The one-story residence at 1622 Spencer Avenue, built in 1941, was found to contribute to the district (Black 1987). Examples of the style located outside of New Bern and its early suburbs are rarer. They include the Ferebee House and a house at 8106 Main Street in the community of Vanceboro, not inventoried by Sandbeck or included in his book, which is two stories tall and of brick with two steeply pitched asymmetric front gables and decorative chimney caps.

Sandbeck’s New Bern and Craven County architectural history, in dealing with twentieth-century residential resources, generally depicts the larger, grander, most intact, and most representative examples of a style. The book includes relatively few early twentieth-century houses. A review of his architectural history and its supporting files suggests that the local hallmarks of the Tudor Revival style are similar to those elsewhere in the country: brick cladding, steeply pitched front gables, varied or asymmetric roof lines, and some Tudor or other pre-Renaissance English-influenced detailing. The history and files suggest that for a Tudor Revival-style dwelling located in Craven County to be eligible for listing in the National Register under Criterion C as the embodiment of a type, period, or method of construction, it should meet the following requirements:

- 1) Retain sufficient integrity of location, design, setting, materials, workmanship, feeling, and association, and
- 2) Be a well-developed example of the style, whose steeply pitched front gables, varied elevations, brick-veneered finish, and early English detailing illustrate the essential characteristics of the style.

It is not believed that the Ferebee House is a particularly well-developed example of the Tudor Revival style in Craven County. It is brick veneered and has two steeply pitched, asymmetric front gables, but at three of its four elevations it principally looks like a plainly articulated hip- or gable-roofed house. It is essentially a plain and undistinguished, early twentieth-century dwelling with Tudor Revival-influenced gables appended to its front elevation. It is therefore not recommended eligible for National Register-listing under Criterion C for its architecture. It is not known to have any historical significance or connection with any notable persons and is therefore also not recommended as eligible for Register listing under either Criteria A or B. From the perspective of historic architecture–archaeology is not addressed here–the study of the physical components of the house and garage/apartment would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.





Plate 12:  
Ferebee House  
(#6)—east front  
elevation

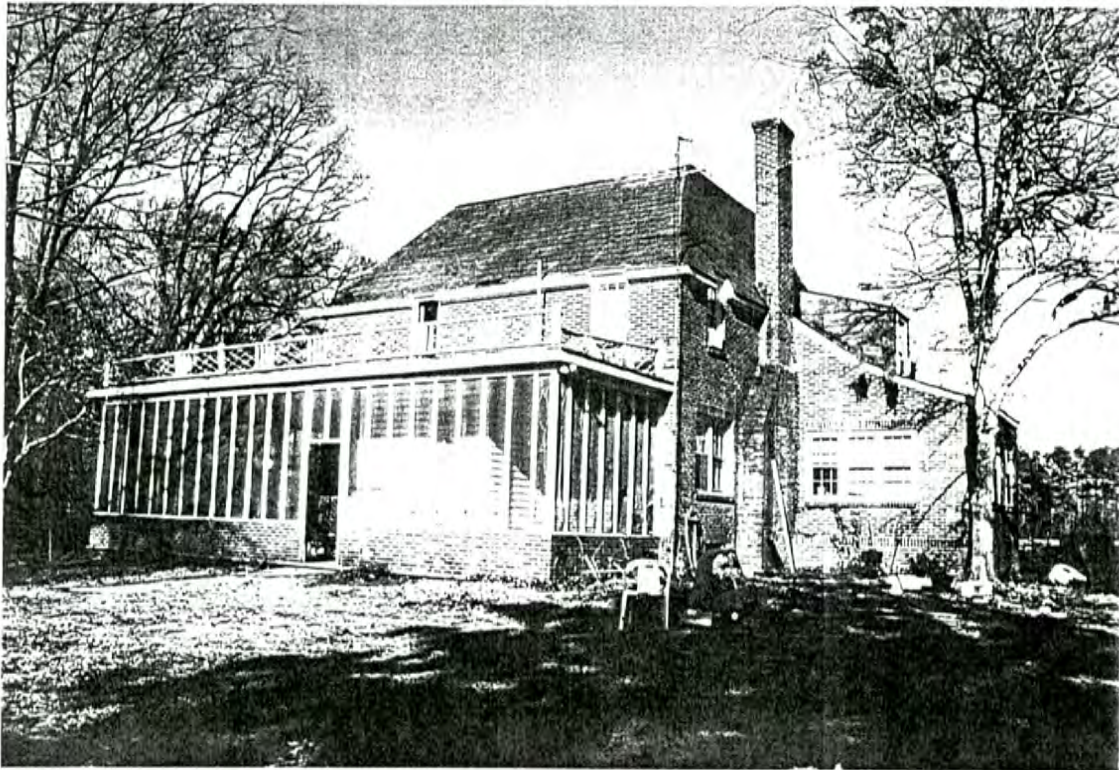


Plate 13:  
Ferebee House  
(#6)—south  
side and west  
rear  
elevations



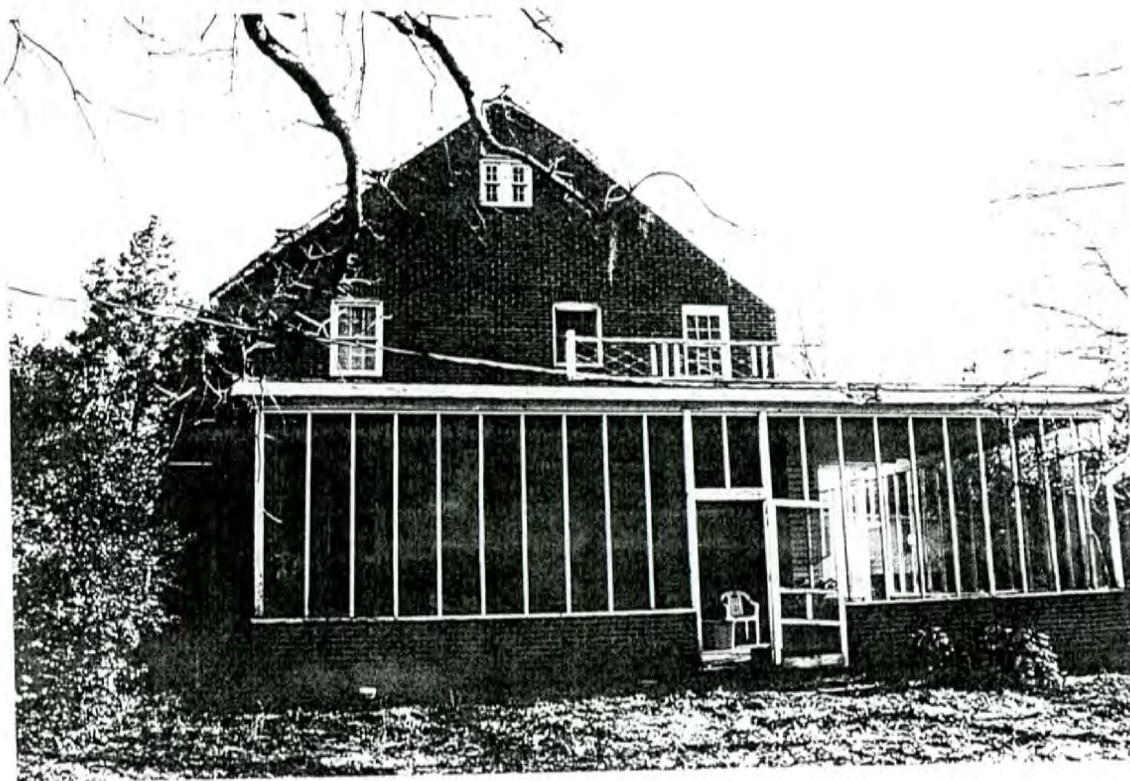


Plate 14:  
Ferebee House  
(#6)—north  
side elevation



Plate 15:  
Ferebee House  
(#6)—east and  
north  
elevations of  
garage/  
apartment

**CHARLES KEENER HOUSE (#20)**  
**2705 Highway 17 North, Askin vicinity**

*History*

The current owner of this house, George Daren Lillis, believes that it was erected by the Keener family. He has heard a range of dates of construction, with the earliest about 1920 (Lillis 2000). Tax and deed records suggest a few possible dates of construction as well. The property's tax assessment states that the house was erected in 1945. While this is possible, the Dutch Colonial Revival style and finish of the house suggest that it was likely constructed a decade or two earlier than that. From 1910 until 1932, the property was owned by Adam Hartley (Craven County Deed Book 198/Page 117 (1910)). In 1932 he sold 25 acres of the property to Charles E. Keener, a bachelor at the time, who likely erected the house in the 1930s or early 1940s (Deed Book 299/Page 264 (1932)). Keener and his wife, Lillian D. Keener, sold the house and a 3.2-acre parcel to Melba K. Everhart in 1958 (Deed Book 570/Page 405). In 1998 George Daren Lillis and his wife Denise purchased the house, on a 1.5-acre tract, from the Shaver family (Deed Book 1657/Page 512).

*Description*

The Keener House is a two-story, Dutch Colonial Revival-style structure (Plates 16, 17, and 18). Its three-bay-wide front (east) elevation has an eight-over-eight window at either side and a centered entry framed by sidelights and a fanlight. This elevation has no porch, but is rather partially shaded by the projecting gambrel roof that tops the house. Steps and a stoop lead to the front entry. Three large gabled dormers with eight-over-eight sash extend through the roof at the front. A hip-roofed porch with squared columns extends from the south side elevation, which is also marked by an exterior-end brick chimney and a doorway. A flue stack at the north side elevation is a later addition. A one-story ell across the rear of the house, probably original, is topped by a shed roof. A long shed dormer with a central projection that might hold a bathroom extends across the second-story rear elevation. A brick flue stack at the rear was recently truncated by Mr. Lillis, who is renovating the house. No access to the inside was offered, but according to Mr. Lillis, the floors are hardwood, and tongue-and-groove or ceiling board laid on the diagonal underlies the walls. To the rear of the house stand buildings identified in tax records as a garage/shop erected in 1960 and a storage building erected in 1965 (Plate 19). According to Mr. Lillis, and a plat map, the rearmost of these buildings is not on his property.

*Evaluation*

The Dutch Colonial Revival style was a common early twentieth-century variant of the Colonial Revival style. The style was popular nationally and in Craven County as well, particularly in the former New Bern suburbs of Ghent and DeGraffenried Park. Of the 150 houses built in Ghent from 1912 through the 1930s, a number utilized the style, including the Hudnell-Parsons House (c.1923) at 1801 Spencer Avenue, the Brooks-Mullineaux House (c.1925) at 1410 Rhem Avenue, the Brewer House (c.1925) at 1807 Spencer Avenue, and the frame dwelling (c.1925) at 1604 Rhem Avenue,



which is pictured on page 437 of *Historic Architecture of New Bern and Craven County*. All four of these stand within the National Register-listed Ghent Historic District (Black 1987; Sandbeck 1988:169, 435-437). DeGraffenried Park, a former suburb developed in the late 1920s, includes some handsome examples of the style as well, as does the town proper of New Bern. Sandbeck (1988:169, 179) pictures two Dutch Colonial Revival-style houses within the National Register-listed New Bern Historic District, the Dr. William L. Hand, Sr. House (c.1926) at 216 Johnson Street and the Mrs. William P.M. Bryan House (c.1926) at 209 Pollock Street.

Sandbeck's New Bern and Craven County architectural history, in dealing with twentieth-century residential resources, generally depicts the larger, grander, most intact, and most representative examples of a style. The book underrepresents modest early twentieth-century houses. A review of his architectural history and its supporting files suggests that the local hallmarks of the style are varied Colonial Revival style details, symmetrical placement of elements, and a principal gambrel roof. The history and files suggest that for a Dutch Colonial Revival-style dwelling located in Craven County to be eligible for listing in the National Register under Criterion C as the embodiment of a type, period, or method of construction, it should meet the following requirements:

- 1) Retain sufficient integrity of location, design, setting, materials, workmanship, feeling, and association, and
- 2) Be an unusually well-developed example of the style, whose symmetrical form, elevations, and Colonial Revival-style finish illustrate the essential characteristics of the style.

It is not believed that the Charles Keener House is an unusually well-developed example of the Dutch Colonial Revival style in Craven County. It has a gambrel roof and a modest classical entryway, but otherwise is a largely functional, plain, and undistinguished early twentieth-century dwelling. It is therefore not recommended eligible for National Register-listing under Criterion C for its architecture. It is not known to have any historical significance or connection with any notable persons and is therefore also not recommended as eligible for Register listing under either Criteria A or B. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house and its outbuildings would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 16:  
Charles  
Keener House  
(#20)—east  
front and  
south side  
elevations



Plate 17:  
Charles  
Keener House  
(#20)—south  
side and west  
rear elevations





Plate 18:  
Charles  
Keener House  
(#20)—north  
side elevation



Plate 19:  
Charles  
Keener House  
(#20)—east and  
north side  
elevations of  
outbuildings

**RALPH POTTER HOUSE (#28)**  
**1601 Highway 17 North, Bridgeton vicinity**

*History*

According to Craven County tax records, this frame dwelling was built in 1944. Its basic utilization of the Colonial Revival style and use of varied window arrangements and sash lend general credence to this date, although it may have been erected six or eight years earlier. Early in the twentieth century the parcel upon which the house stands encompassed 200 acres (Craven County Deed Book 163/Page 221 (1907) and Deed Book 298/Page 528 (1931)). A cemetery is pictured well to the west of Highway 17 on a 1931 plat map of the property. This map does not show the footprint of a house. From 1931 until they defaulted on its mortgage in 1936, the property was owned by J.R. and Sadie Rice (Deed Book 300/Page 385 (1931); Deed Book 321/Page 227 (1936)). In 1938 Ralph C. and Ellie F. Potter purchased the property from a trustee (Deed Book 338/Page 157). They likely built the house, perhaps in the late 1930s or early 1940s rather than 1944. Ellie F. Potter is still listed as the owner of record. No one was home when the house was recorded and oral history and an interior description could therefore not be gathered.

*Description*

The main block of this house is two stories tall and gable ended (Plates 20 through 23). Its front (east) elevation features a triple window grouping at the left, a double window grouping at the right, and a central entry flanked by transoms. A one-bay gable-front porch projects at the center. The three windows at the second story of the front elevation are eight-over-eight at the left and right and six-over-six at the center. Centered above them are three gabled dormers. The south side of the main block is marked by an exterior-end chimney and edged by a small, gabled, one-story wing. A small, shed-roofed, one-story wing also abuts the north side of the block. A partially screened, one-story porch and later carport extend to the house's rear. The house is built of frame sided with asphalt shingles. Its foundation is concrete block and its roof is clad with asphalt shingles. According to tax assessment records, the interior is finished dry wall and plaster. The assessment notes that the parcel associated with the house has been reduced to just under 57 acres.

*Evaluation*

The Colonial Revival was one of the most popular early twentieth-century residential styles nationally and in New Bern and elsewhere in Craven County as well. In New Bern proper, numerous Colonial Revival-style dwellings were raised in the teens and twenties. Many of the frame and brick-veneered residences erected in the New Bern suburb of Ghent from 1912 through the 1930s and the adjacent suburb of DeGraffenried Park in the late 1920s also utilized the style. Colonial Revival-style dwellings primarily dating from the teens and twenties are found in the early suburb of Riverside, too. Among the finer examples of the style pictured in the *Historic Architecture of New Bern and Craven County* are the brick Clyde Eby House on the 100 block of Middle Street (c.1925) and the John R. Taylor House (1922-23) at 709 Broad Street in the New Bern Historic



District, and the grand Dr. Earl S. Sloan House (914) on Country Club Road in Trent Woods (Sandbeck 1988:168, 239, 353, 543). Frame examples, still deftly finished, are also pictured by Sandbeck (1988:169, 271, 439), including the Joseph Anderson House (c.1927) at 214 Johnson Street in the New Bern Historic District, the Piner House (1927) at 1514 Trent Road in DeGraffenried Park, and the E.F.C. Metz House at 1604 Tryon Road, also built in DeGraffenried Park in 1927. Many Riverside dwellings and many of the houses in the National Register-listed Ghent Historic District—such as the Oscar R. Brinson House (c.1915) at 1506 Spencer Avenue and the Bateman-Tyson House (1916) at 1406 Spencer Avenue—utilize the style as well (Black 1987).

Sandbeck's New Bern and Craven County architectural history, in dealing with twentieth-century residential resources, generally depicts the larger, grander, most intact, and most representative examples of a style. The book underrepresents modest early twentieth-century houses. A review of his architectural history and its supporting files suggests that the local hallmarks of the style are varied classical details and symmetrical placement of bays and decorative elements. The history and files suggest that for a Colonial Revival-style dwelling located in Craven County to be eligible for listing in the National Register under Criterion C as the embodiment of a type, period, or method of construction, it should meet the following requirements:

- 1) Retain sufficient integrity of location, design, setting, materials, workmanship, feeling, and association, and
- 2) Be an unusually well-developed example of the style, whose symmetry of form, bays, and elevations, and classical finish illustrate the essential characteristics of the style.

It is not believed that the Charles Keener House is an unusually well-developed example of the Colonial Revival style in Craven County. It has no notable classical features and, either through design or, more likely, alteration, does not have a symmetrical front facade. Were its first-story front window bays consonant with its other front bays, it would have an appearance quite similar to that of the intact Metz and Piner houses, which lack irregular paired windows at their front facades. The Keener House is therefore not recommended eligible for National Register-listing under Criterion C for its architecture. It is not known to have any historical significance or connection with any notable persons and is therefore also not recommended as eligible for Register listing under either Criteria A or B. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the house would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



Plate 20:  
Ralph Potter  
House  
(#28)—east  
front and north  
side elevations



Plate 21:  
Ralph Potter  
House  
(#28)—east  
front and  
south side  
elevations



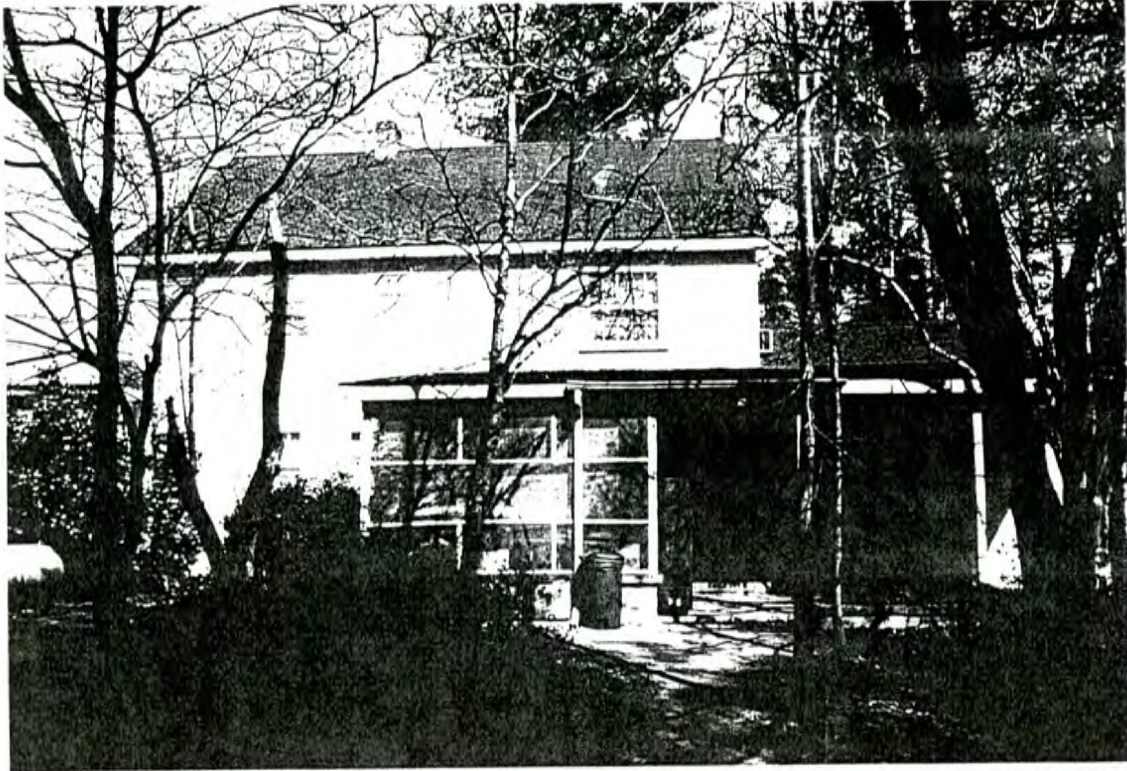


Plate 22:  
Ralph Potter  
House  
(#28)—west  
rear elevation



Plate 23:  
Ralph Potter  
House  
(#28)—north  
side and west  
rear elevations



**GASKINS STORE (#12)**  
**Northwest corner of junction of Highway 17 North and Askins Brick Road (SR 1434),**  
**Askin**

*History*

In 1990 Ruth Little completed a North Carolina survey form (CV 387) on the Gaskins Store and House. She described the bungalow to the south and noted that it and the store were once associated with the Gaskins family. She placed a 1930s date of construction upon the store. Tax assessment records do not date the store, but assign an almost certainly incorrect date of 1945 to the bungalow. Both the store and the bungalow appear to most likely date from the 1920s.

The store has been in and out of the Gaskins family in the past half century. Its current owner, Sarah T. Gaskins, acquired it in 1965 from I.W. and Vera W. Toler (Craven County Deed Book 676/Page 47). The Tolers had purchased it four years earlier from Floyd G. and Dora Robinson (Deed Book 619/Page 184). The Robersons had acquired it in 1948 from Catherine Gaskins, J.G. and Mattie J. Roberson, W.C. Ernul and Stauss Streets (Deed Book 427/Page 361). The property was associated with or adjacent to a grand scheme, in 1907, to develop the town of Askin. The scheme was contemporaneous with the completion of a line of the Norfolk & Southern Railroad through the area. (The tracks still pass within site of the store, on the opposite side of Route 17.) A plat map with scores of paper lots was filed in the courthouse, but no town was ever erected (Deed Book 167/Page 347; Sandbeck 1988:510, 511).

Commercial activity did come to the crossroads community in the 1920s or 1930s, possibly as much as a result of its placement on Route 17 and the intersecting road to Aurora as its proximity to the railroad. The Gaskins Store, which stands at the crossroads, was built during this time, as was a large, two-story, brick commercial structure—last home to the Bank’s Grocery—that stands just to the south across Route 17. The location has remained desirable, which ironically probably contributed to the demise of the two early stores. Two convenience stores, one still active, were built in recent years on the north side of Route 17. The Gaskins Store has long been closed and Bank’s Grocery survives as a collectibles outlet.

*Description*

Gaskins Store is a one-story, frame, rectangular structure (Plates 24 through 27). It is sided with weatherboards and, along most its north side elevation, sheet metal. The roof, clad in seam metal, is hipped at the rear and is a clipped gable at the widely overhanging east front. A small stuccoed chimney stack rises at its center rear. In the shadow of the overhang is a five-bay facade with paired six-panel doors at its center and a pair of six-over-six, iron-barred windows. Broad concrete steps cross the front facade. The engaged cantilevered overhang is supported by four iron pipes raised on cone-shaped concrete supports. At the end of the overhang, the roof is marked by four depending sections of weatherboard. These probably mark the location of the original porch supports. The unusual placement of the iron posts at the middle of the overhang suggests that they were later



added. Some of the concrete pad beneath the overhang, where cars would have been driven to be fueled, remains intact. The pumps have been removed. The inside of the store was not accessible. (Attempts to contact Sarah Gaskins, or other occupants, at the adjacent bungalow were not successful.) A view through the windows, however, revealed a large room extending almost to the rear. Original ceiling board appeared to be in place on the walls and ceiling and some early or original shelves appeared to be intact. The large number of objects stacked in the building, which has apparently served as a storage shed for many years, obscured much of interior, however.

### *Evaluation*

#### *Craven County Country Store Contextual Background*

Virtually all of Craven County's rural and small town, or country, stores—that is, its stores erected outside of New Bern—date from the twentieth century.<sup>1</sup> They can be divided into a variety of categories within two major subheadings, location and form. About half are located in small towns and crossroads communities and half out in the countryside. The communities range in size from the larger towns of Vanceboro, Dover, and Cove City, to the railroad siding towns of Clark and Ernul, to places like Blades, Askins, Fort Barnwell, and Perfection that are now little more than names on a map. Some of the rural stores are located at the junction of roads; others stand independent of any crossing. Another major component of location, which is connected in part with the size of the rural communities, is the proximity of a rail line. About half of the stores are located adjacent to or within a hundred yards or so of railroad tracks. The other half stand separate from any rail line.

In regard to form, the stores can be divided by height, material, presence of overhang, and presence of a false front.<sup>2</sup> These formal attributes, in turn, are often related to the store's location. Most of the stores are one-story tall. The two-story stores are located, almost without exception, in small towns or former railroad towns, within hailing distance of the railroad tracks. (One exception, a two-story store near the eastern border of the county, is not near any rail line, but does stand at the center of the former rural community of Blades.) They generally retain much of their original store fronts intact. In neighboring Jones County, the two-story stores are believed to date from the late

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<sup>1</sup> Sandbeck identified two stores erected outside of New Bern in the late nineteenth century. During fieldwork for this project, the John Speir Store (c.1880-80) in the Jasper community, which was remarkably intact in the 1980s, could not be located. It has either been demolished, moved, or unrecognizably altered. The much-altered, contemporary Tom Haywood Store in the Croatan community was not viewed, but is believed to still stand (Sandbeck 1988:490-491, 535, 553-545).

<sup>2</sup> Sandbeck's files contain virtually no information on store interiors and, during the field survey for this project, access to very few was obtained. Therefore, an assessment of the interior features and integrity of the county's stores awaits another project.

nineteenth or very early twentieth century, before the advent of the automobile. When travel was difficult, larger stores were required to provide a wide array of goods (Davis 1992). In Craven County, two-story stores are not necessarily earlier than those with one story. They are rather located in towns and along railroad tracks, where they would have had more traffic than their shorter companions. The two-story stores are also the only ones, among the many stores that were viewed during this project, that occasionally utilized brick rather than frame or concrete block.

The finest two-story stores in the county are the pairs of brick and frame stores in Clarks and Ernul. The brick Abner Wetherington Store (CV 1318) was built in Clarks along the tracks of the Atlantic and North Carolina Railroad about 1910 (Plate 28). The similar Joe Register Store (CV 1904), pictured in Sandbeck's county architectural history (1988:546), was erected across the tracks in 1913. The frame Gaskins' General Store (CV 975), pictured in Sandbeck (1988:509-510) as well, was erected along the tracks of the Norfolk & Southern Railroad in the community of Ernul between 1900 and 1910. Also around 1910, Chaney's General Store (CV 977) was raised just down the road near the tracks (Plate 29). (The B.C. Peterson and Son Store in Vanceboro, described by Sandbeck as a functioning dry goods store remarkably intact inside and out, has been turned into the modern Kite's Supermarket and is now virtually unrecognizable.)

More commonly, and exclusively in the countryside, Craven County's stores were only one story tall. These were built of frame or, in the 1930s and 1940s, sometimes concrete block. They generally retain much of their original store fronts intact. A few, like most of the two-story stores, were erected with false fronts. If the dates assigned by Sandbeck to these stores are accurate, the false fronts do not correspond with earlier dates of construction. One false front store in rural western Craven County, pictured by Sandbeck (1988:499), is believed to have been built for James B. Gardner (CV 1018) about 1900. Hussey's General Store (CV 1406) in Dover, however, was estimated by Sandbeck to have been built about 1920 and the H.C. Woods Store (CV 1271) north of Cove City at a once important intersection about 1925. The Woods Store, which went into decline in the late 1930s when one of its roads was supplanted and closed, retains an early gas pump (Plate 30). The false fronts of these stores mandated an attached rather than engaged overhang, so it is difficult to determine whether these stores are early, with added overhangs to serve the emerging automobile trade, or contemporary with their engaged-porch mates.

The large majority of the one-story stores were built with original overhangs—most engaged, some attached—that would have provided some protection for patrons fueling their vehicles. In front of a number, pumps survive but, even lacking pumps, their connection with the automobile is apparent. Built from the teens through the forties, these stores functioned much as current convenience do, selling gasoline out front and a limited selection of goods inside. Only a few extant stores were identified that apparently never had an overhang. One, the O. Paramore Store (CV 1138), located in the countryside on Route 43 between Vanceboro and the Pitt County line, is part of an unusual two-store unit. The larger gable-front section, which lacks an overhang, was built, according to Sandbeck's survey form, between 1900 and 1910. A tiny, freestanding, hip-roofed addition, as much overhang as store, was added in the 1920s to provide gas pumps (Plate 31). The lack of an overhang does not necessarily indicate that a store was built before the advent of the automobile. Some stores



without overhangs were probably too modest to have ever provided gasoline. One of these stands near the junction of SR 1700 and 1710 in eastern Craven County , between the crossroads communities of Bachelor and North Harlowe (Plate 32).

The most common form of rural store in Craven County is one story tall, frame (or in the 1930s and 1940s, concrete block), and rectangular, with a gable-front or clipped gable overhang. The Sammy Riggs Store, on SR 1232 south of Perfection in western Craven County, is typical of the gable-front form. Although in excellent condition and retaining its sign, it is no longer a functioning store (Plate 33). A similarly formed store on Route 55 west of Perfection, bearing the name Buzzard's Corner, continues to function as both a store and gas station (Plate 34).

A number of clipped-gable stores, very similar to the Gaskins Store, are scattered throughout the county. The Jack Russell Store and Dance Hall (CV 1005) on Route 55 just east of Fort Barnwell, retains its clipped-gable overhang, weatherboard siding, exposed rafter ends, interior brick chimney stack, and Craftsman-style overhang supports of tapered wooden posts on brick piers (Plate 35). According to Sandbeck's survey form, the building was erected in the 1920s for Jack Russell as a general store, gas station, and dance hall. In hot weather, dances were held outdoors under its spacious drive-through. On the other side of the county, in the countryside on SR 1711 between Blades and North Harlowe, is a similarly fashioned store with replaced overhang supports. It retains its clipped-gable roof, interior brick chimney stack, and weatherboards and, unlike the vacant contemporary Russell store, now functions as a dance hall or "Nite Club" (Plate 36).

#### *Gaskins Store Evaluation*

Sandbeck's county history and his copious survey files, which identify dozens of rural/small town stores in Craven County—coupled with a field survey of much of Craven County undertaken as part of this project that identified many more—provide some guidance for suggesting registration requirements for listing a rural/small town store in the National Register for its architecture. For a rural/small town store located in Craven County to be eligible for listing in the National Register under Criterion C as the embodiment of a type, period, or method of construction, it should meet the following requirements:

- 1) Retain sufficient integrity of location, design, setting, materials, workmanship, feeling, and association, and, particularly,
- 2) Retain its form, cladding, and much of its original store front intact. For those with overhangs, both the overhang and its supports should be in their original location and largely intact. The retention of a gasoline pump at stores with overhangs bolsters their integrity of feeling and association.

It is not believed that Gaskins Store meets the suggested registration requirements. It retains its form and much of its store front and overhang intact. However, it is partially clad with sheet metal and has lost its original overhang supports. Its replacement supports were placed inside of the original

supports, near the middle of the overhang. Gaskins Store is therefore not recommended for National Register-listing under Criterion C for its architecture. The store is not known to have any historical significance or connection with any notable persons and is therefore also not recommended as eligible for Register listing under either Criteria A or B. From the perspective of historic architecture—archaeology is not addressed here—the study of the physical components of the store would be unlikely to yield any important historical information not readily available from other sources. The resource is therefore also believed to be ineligible for Register listing under Criterion D.



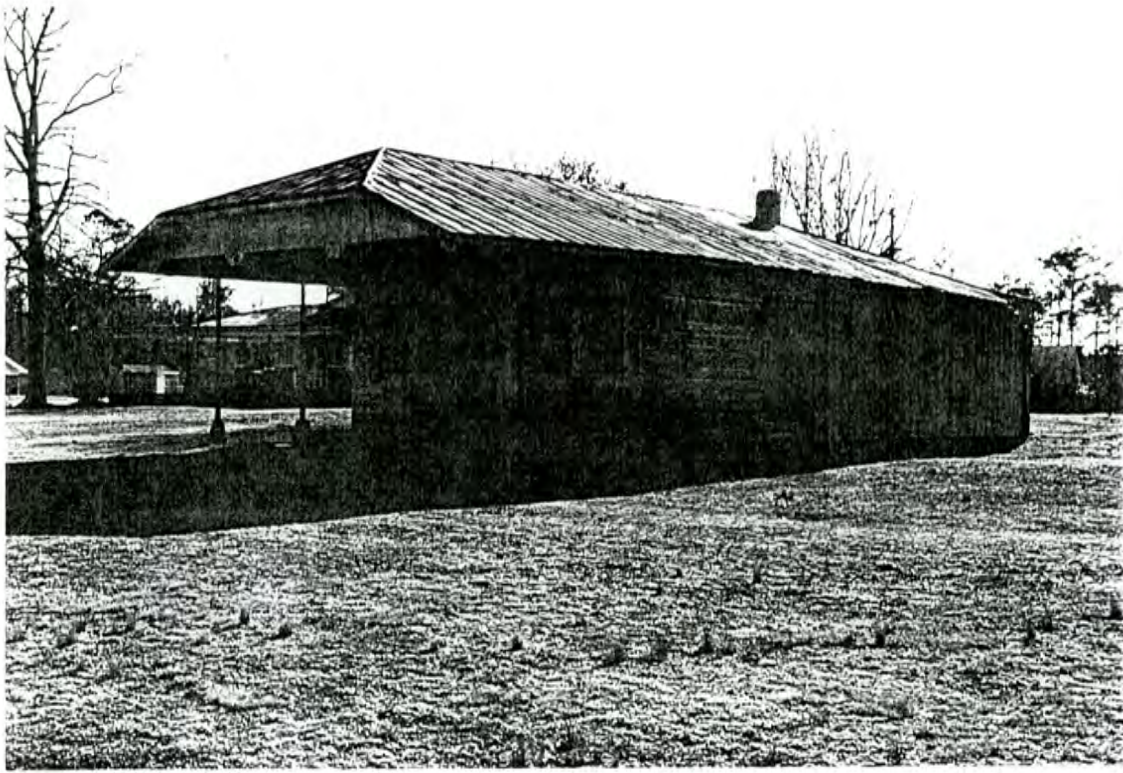


Plate 24:  
Gaskins Store  
(#12)—east  
front and north  
side elevations



Plate 25:  
Gaskins Store  
(#12)—east  
front and  
south side  
elevations



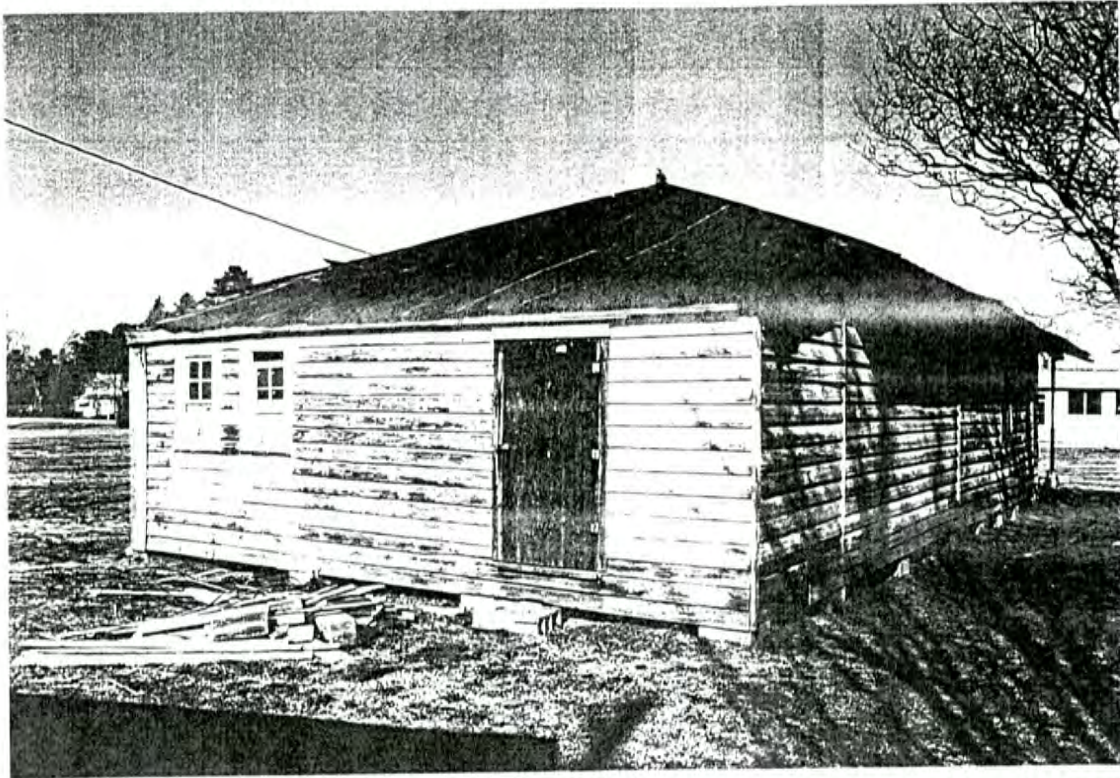


Plate 26:  
Gaskins Store  
(#12)—west  
rear and south  
side elevations



Plate 27:  
Gaskins Store  
(#12)—north  
side and west  
rear elevations





Plate 28:  
Abner  
Wetherington  
Store, SR  
1225, Clarks



Plate 29:  
Chaney's  
General Store,  
SR 1628,  
Ernul





Plate 30:  
H.C. Woods  
Store, SR  
1256, Cove  
City vicinity



Plate 31:  
O. Paramore  
Store, NC 43,  
Vanceboro  
vicinity





Plate 32:  
Small store  
without  
overhang, SR  
1700, North  
Harlowe  
vicinity

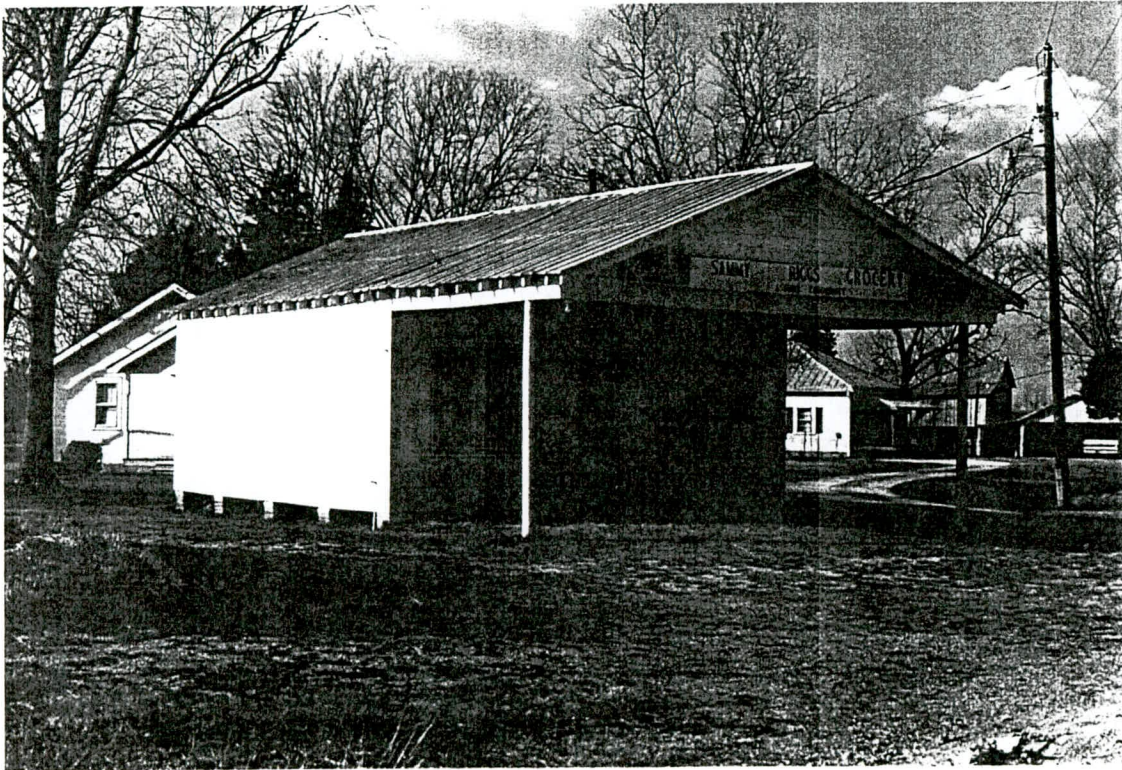


Plate 33:  
Sammy Riggs  
Store, SR  
1232,  
Perfection  
vicinity



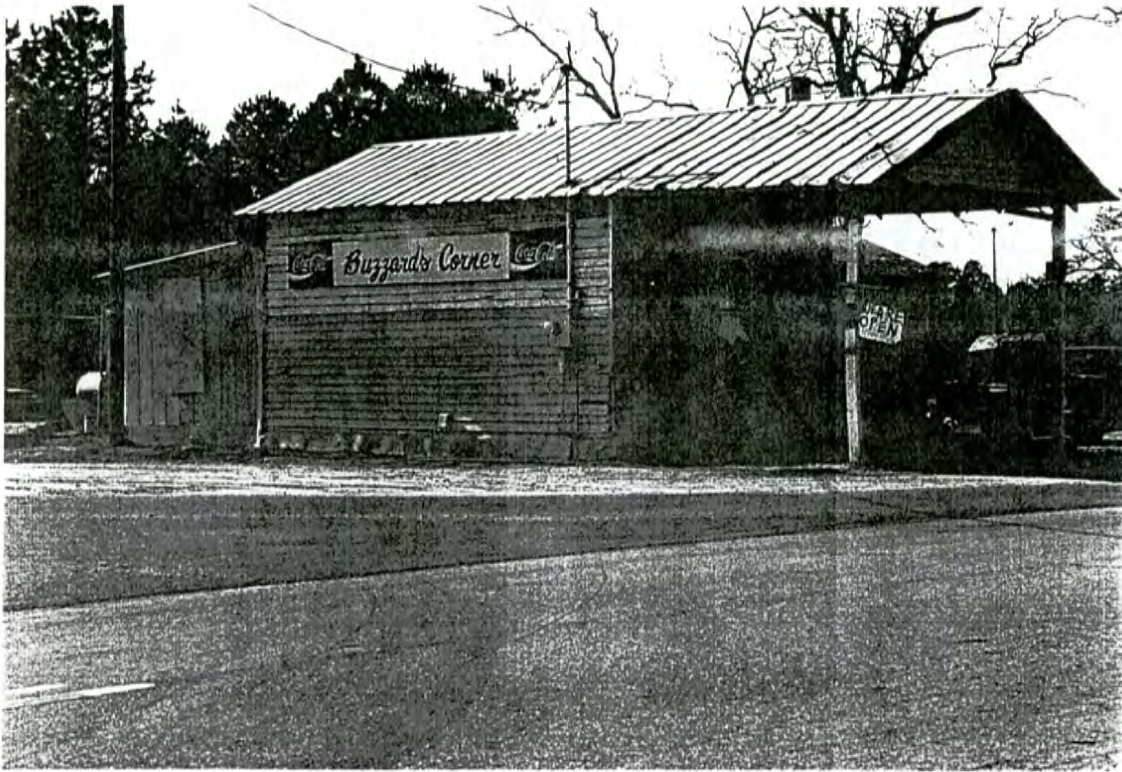


Plate 34:  
Buzzard's  
Corner Store,  
NC 55,  
Perfection  
vicinity

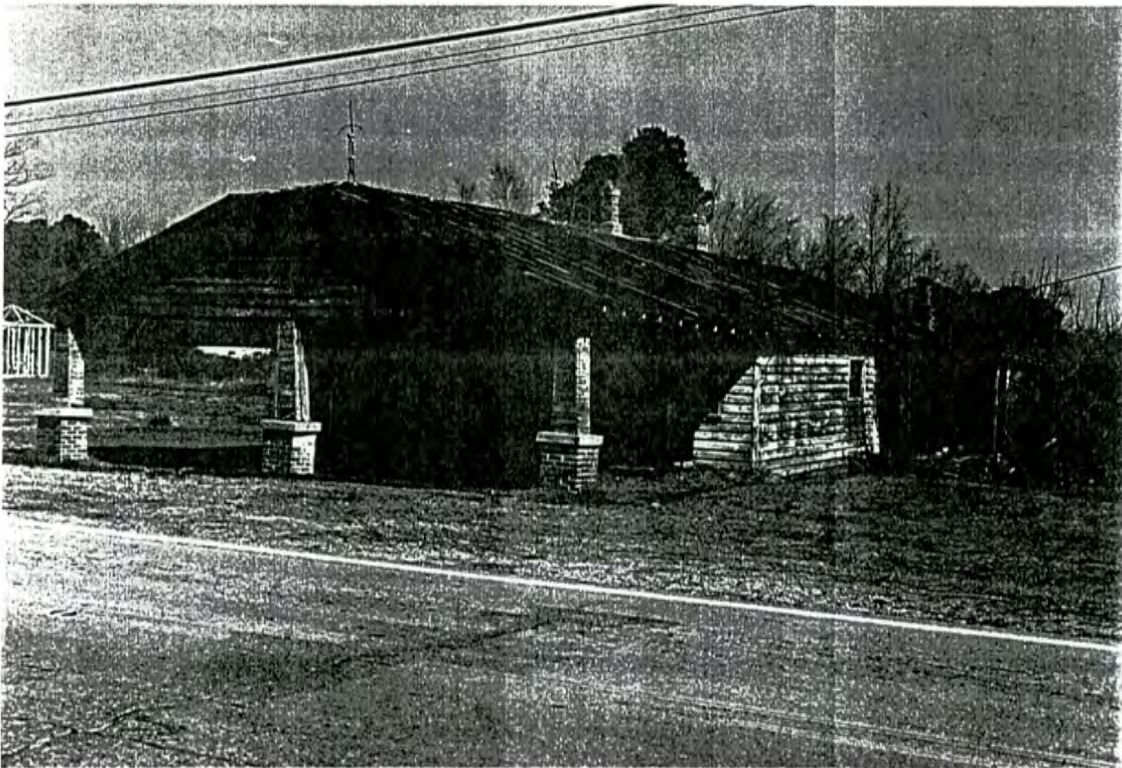


Plate 35:  
Jack Russell  
Store and  
Dance Hall,  
NC 55, Fort  
Barnwell  
vicinity



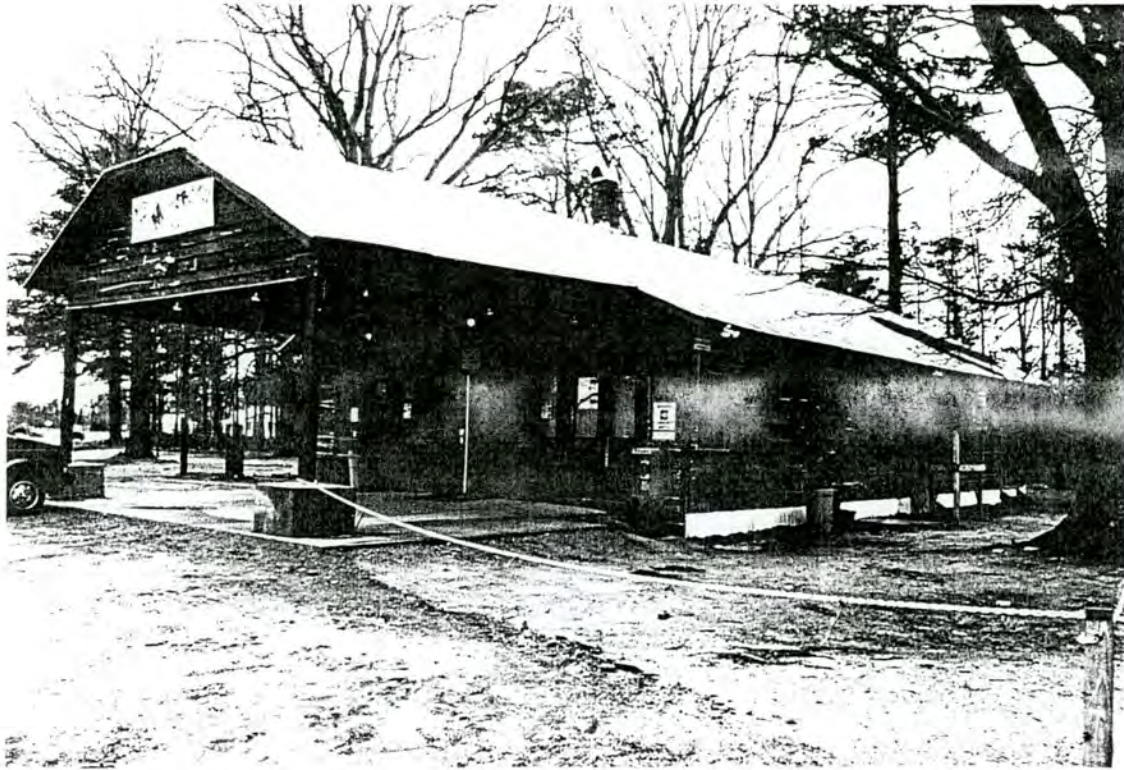


Plate 36:  
Clipped-gable  
front store, SR  
1711, Blades  
vicinity

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#### IV. APPENDIX

November 2, 1999, North Carolina SHPO Reevaluation Request Letter





**North Carolina Department of Cultural Resources**  
**State Historic Preservation Office**

David L. S. Brook, Administrator

James B. Hunt Jr., Governor  
Betty Ray McCain, Secretary

Division of Archives and History  
Jeffrey J. Crow, Director

November 2, 1999

**MEMORANDUM**

**TO:** William D. Gilmore, P.E., Manager  
Project Development and Environmental Analysis Branch  
Division of Highways  
Department of Transportation

**FROM:** David Brook *David Brook*  
Deputy State Historic Preservation Officer

**RE:** **US 17 from NC 43 to Mills Street, Bridgeton, T.I.P. No. R-3403, Craven County**  
**ER 00-7456**

We have received the Phase II Architectural Resources Survey, prepared by Scott C. Owen, for the above project and would like to comment.

On March 19, 1999, Jennifer Martin of our office met with NCDOT staff to identify properties requiring further evaluation for eligibility determinations. At that meeting it was determined that five (5) properties within the project's area of potential effect had previously been determined eligible for listing, and that the remaining properties required no further evaluation.

Upon receipt of the Phase II Architectural Resources Survey for Craven County R-3403 and further review, we determined that the following properties do require additional evaluation:

Properties numbered 6, 20 and 28 appear to be good examples of period revival architecture and retain a high degree of integrity. These houses are unusual house types for outlying areas of the county, as such their significance should be reevaluated.

Properties numbered 41, 43, 44, and 45 appear to fall within the period of significance for the Bridgeton Historic District (1905 - 1941) and should be included within the historic district boundary.

On Figure 11 the property numbered "40" is actually the location of property number 39. While property number 40 has already been determined eligible, property number 39 appears to retain a higher degree of historic integrity. Therefore, further evaluation of property number 39 is needed.

Property number 12. Store, appears to be an intact example of a vernacular commercial building dating from the first half of the twentieth century. This is a rapidly disappearing resource whose significance should be reevaluated.

A photograph of property number 7 was omitted from the report. Please send us a photograph of this property to include in our copy of the report.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, please contact Renee Gledhill-Earley, environmental review coordinator, at 919/733-4763.

DB:ldb

cc: B. Church