



**North Carolina Department of Natural and Cultural Resources**  
**State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper  
Secretary Susi H. Hamilton

Office of Archives and History  
Deputy Secretary Kevin Cherry

December 30, 2019

MEMORANDUM

TO: Kate Husband  
Office of Human Environment  
NCDOT Division of Highways

FROM: Renee Gledhill-Earley *Renee Gledhill-Earley*  
Environmental Review Coordinator

SUBJECT: Historic Structures Survey Report, Replace Bridge 20 on US 70 over CSX Railroad, B-4838,  
Wayne County, ER 14-0564

Thank you for your December 4, 2019, memorandum transmitting the above-referenced report. We have reviewed the report and determined that there is not enough information to determine if the Oak Heights Historic District is eligible for listing in the National Register of Historic Places. The report does not include any comparable examples to allow us to understand how Oak Heights compares to other neighborhoods platted in the 1920s in this part of the county or region.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-814-6579 or [environmental.review@ncdcr.gov](mailto:environmental.review@ncdcr.gov). In all future communication concerning this project, please cite the above referenced tracking number.

cc: Mary Pope Furr, NCDOT, [mfurr@ncdot.gov](mailto:mfurr@ncdot.gov)

Received: 12/05/2019  
State Historic Preservation Office



STATE OF NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION

ROY COOPER  
GOVERNOR

JAMES H. TROGDON, III  
SECRETARY

**ER 14-0564**

December 4, 2019

Due -- 1/2/20

MEMORANDUM

**TO:** Renee Gledhill-Earley  
Environmental Review Coordinator  
North Carolina State Historic Preservation Office

**FROM:** Kate Husband  
Architectural Historian  
NCDOT Division of Highways

**SUBJECT:** Replace Bridge No. 20 on US 70 Business over CSX Transportation  
Railroad Tracks, PA No. 16-03-0001, Wayne County

H- ER letters  
12/30/19  
R/H

Enclosed please find the Historic Structures Survey Report, survey site database, and additional materials for the above referenced project for your review and comment per 36CRF.800. Please contact me by phone (919-707-6075) or email (klhusband@ncdot.gov) if you have any additional questions or comments.

*Mailing Address:*  
NC DEPARTMENT OF TRANSPORTATION  
PDEA-HUMAN ENVIRONMENT SECTION  
MAIL SERVICE CENTER 1598  
RALEIGH NC 27699-1598

*Telephone:* (919) 707-6000  
*Fax:* (919) 212-5785  
*Customer Service:* 1-877-368-4968

*Website:* www.ncdot.gov

*Location:*  
1020 BIRCH RIDGE RD  
RALIEGH NC 27610

**HISTORIC STRUCTURES SURVEY REPORT  
REPLACE BRIDGE NO. 20 ON US 70 BUSINESS OVER  
CSX TRANSPORTATION RAILROAD TRACKS  
GOLDSBORO, WAYNE COUNTY, NORTH CAROLINA**

**TIP PROJECT B-4838  
WBS NO. 38608.1.1  
PA TRACKING NO. 16-03-0001**

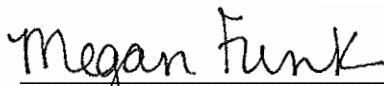
**Prepared for:  
The North Carolina Department of Transportation  
Environmental Analysis Unit  
Century Center A  
1000 Birch Ridge Drive  
Raleigh, NC 27610**

**PREPARED BY:  
*Commonwealth Heritage Group, Inc.*  
P.O. BOX 1198  
201 WEST WILSON STREET  
TARBORO, NORTH CAROLINA 27886**

**Megan Funk  
*Architectural Historian***

**NCR-0815**

**DECEMBER 2019**



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**Megan Funk, Principal Investigator  
Commonwealth Heritage Group**

12-02-2019

**Date**

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**Mary Pope Furr, Supervisor  
Historic Architecture Group, NCDOT**

**Date**

**HISTORIC STRUCTURES SURVEY REPORT  
REPLACE BRIDGE NO. 20 ON US 70 BUSINESS OVER  
CSX TRANSPORTATION RAILROAD TRACKS  
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**Megan Funk  
*Architectural Historian***

**NCR-0815**

**DECEMBER 2019**

## MANAGEMENT SUMMARY

The North Carolina Department of Transportation (NCDOT) proposes to replace bridge No. 20 on US 70 Business over CSX Transportation railroad tracks in Goldsboro, Wayne County, North Carolina. The Area of Potential Effects (APE) equates with the study area and extends along US 70 (West Grantham Street) from just west of the western entrance/exit ramps of the East US 70 Highway Bypass east to an intersection with North George Street. The project is included in the North Carolina State Transportation Improvement Plan (STIP) as Project Number B-4838 and is state funded. Federal permits are anticipated.

The project is subject to review under the Section 106 Programmatic Agreement for Minor Transportation Projects (NCDOT/NCHPO/FHWA/USFS 2015). An NCDOT Architectural Historian conducted preliminary documentary research and a site visit to identify and assess all resources of approximately fifty years of age or more within the APE. One resource, a ca. 1920s neighborhood, warranted intensive National Register of Historic Places (NRHP) eligibility evaluation and is the subject of this report. NCDOT Architectural Historians determined all other properties and districts are not worthy of further study and evaluation due to lack of historical significance and/or integrity. Bridges in the APE were evaluated in the 2005 Historic Bridge Survey and determined not eligible.

This report represents the documentation of a ca. 1920s neighborhood located within the APE for this project, as per Section 106 of the National Historic Preservation Act of 1966. For the preparation of this evaluation report, the Commonwealth Heritage Group, Inc. (Commonwealth), architectural historian conducted architectural analysis and in-depth NRHP evaluation of the requested resource in the study area. Field documentation included notes, sketch maps, and digital photography. Background research was conducted at the Wayne County Public Library and the Wayne County Register of Deeds, both online and on site. Additional background research was conducted using online sources. This report recommends Oak Heights Historic District (WY1459) as not eligible for listing in the NRHP.

<b>PROPERTY NAME</b>	<b>HPO SSN</b>	<b>ELIGIBILITY DETERMINATION</b>	<b>CRITERIA</b>
Oak Heights Historic District	WY1459	Not Eligible	-



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## METHODOLOGY

For the preparation of this report, the Commonwealth architectural historian conducted architectural analysis and an in-depth NRHP evaluation of the requested property in the study area in October 2019. Field documentation included notes, sketch maps, and digital photography. Background research was conducted at the Wayne County Library and the Wayne County Register of Deeds, both online and on site, in addition to using other online sources. This report includes the architectural analysis and in-depth evaluation of a ca. 1920s neighborhood in the APE: Oak Heights Historic District (WY1459). This report is on file at NCDOT and is available for review by the public.

Commonwealth prepared this historic architectural resource evaluation report in accordance with the provisions of the *Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation*,<sup>1</sup> NCDOT's *Survey Procedures and Report Guidelines for Historic Architectural Resources*, and the North Carolina State Historic Preservation Office's (HPO's) *Report Standards for Historic Structure Survey Reports*. Resources are evaluated according to NRHP criteria. The location of the project area and the evaluated resource is shown in Figure 1 and 2.

## PHYSICAL ENVIRONMENT

The study area is located within the City of Goldsboro and is divided into two sections by Bridge No. 20 which crosses a line of the CSX Railroad. West of this divider, the study area is dominated by the interchange of US 70 Business and US 70 Bypass. This expanse leads west to commercial development but is itself characterized by open space and a few mature trees. East of the bridge, the study area is defined by a mix of commercial properties and dwellings that date from the 1920s through the 1960s and were originally developed as part of the Oak Heights neighborhood. The largest commercial property in this area, which stands just east of the bridge and acts as a gateway to the area, is the Franklin Baking Company. Its primary facility is located on the southern side of US 70 Business and consumes an entire block, while two small parking lots associated with the business are located on the northern corners of the intersection of US 70 Business and North Carolina Street. The southeast corner of this intersection is dominated by McLamb Monument Company. East of the intersection, the study area is spanned by dwellings and vacant lots with North George Street and two auto-related businesses forming the eastern bounds of the study area and the Oak Heights neighborhood. The neighborhood continues three blocks north of US 70 Business, where it is bound by a branch of the railroad, and one block south, where it is bound by West Holly Street. There is considerable industrial development to the south and east of this area and an early twentieth-century neighborhood to its north.

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<sup>1</sup> National Park Service, 2017. 48 CFR 44716; 36 CFR Part 800; 36 CFR Part 60.

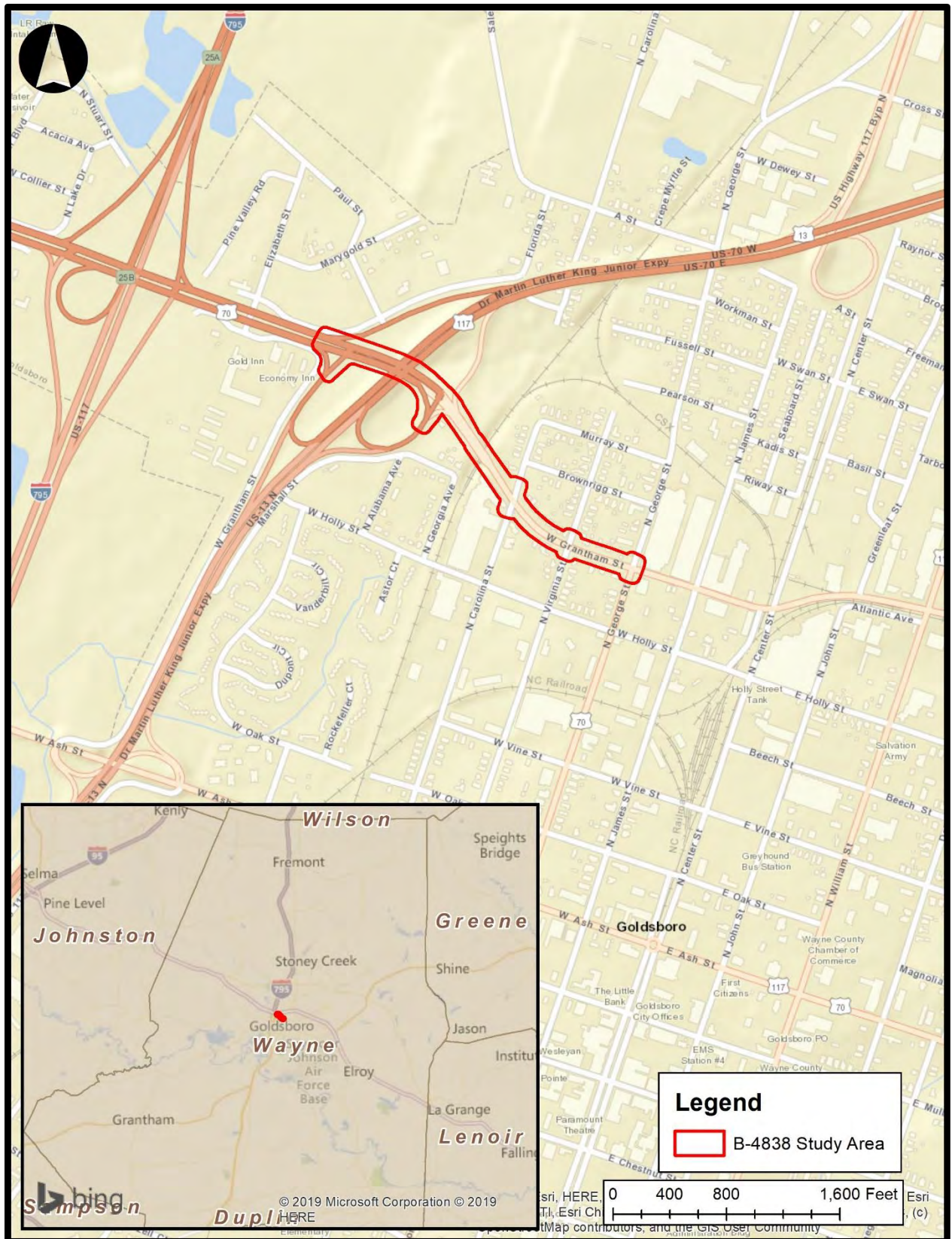


Figure 1: Project Location.

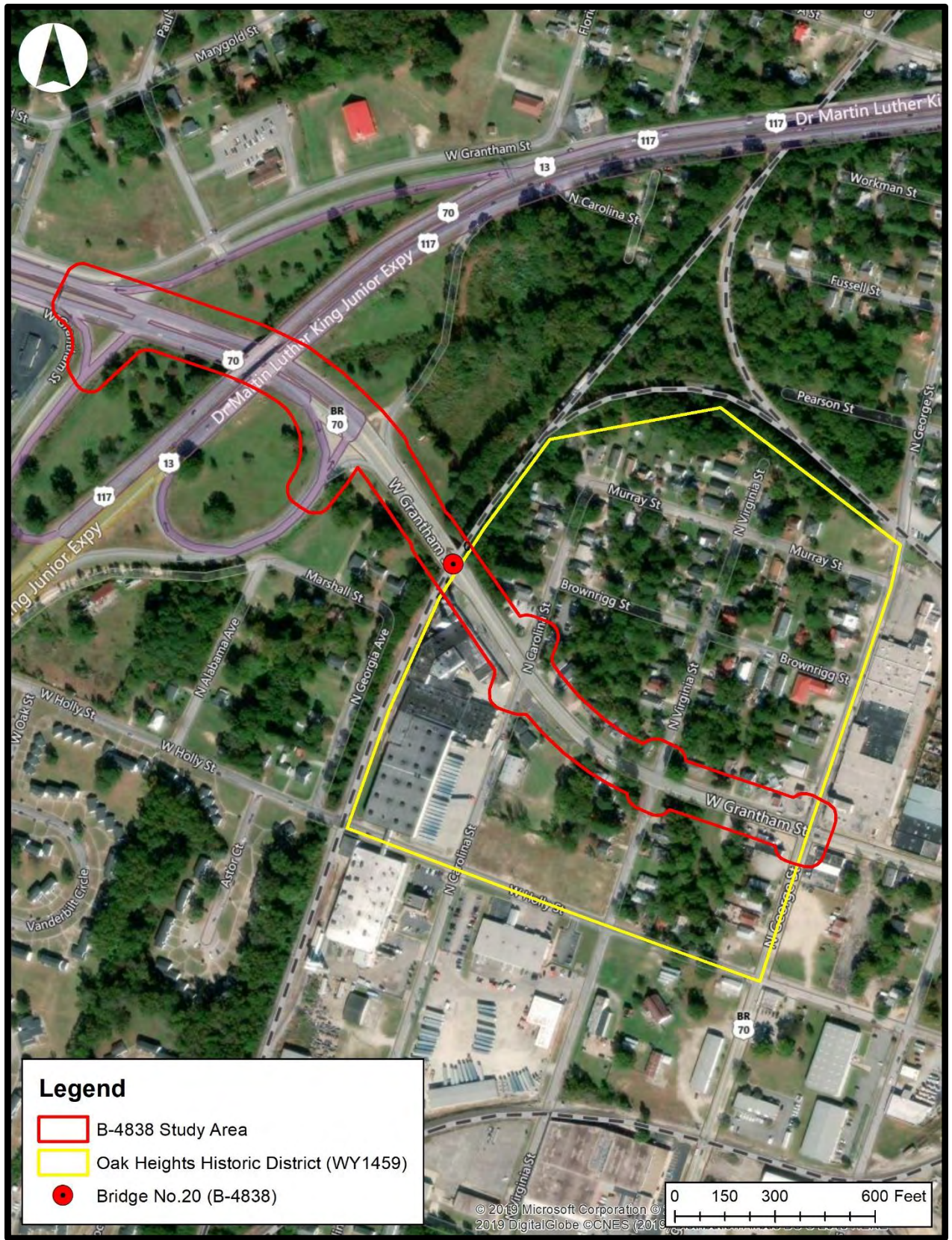


Figure 2: Area of Potential Effects.

## HISTORICAL CONTEXT

Wayne County was formed in 1779 from the western part of Dobbs County and named for the Revolutionary War general “Mad Anthony” Wayne. Its original county seat, Waynesborough, was established almost ten years later, in 1787, after William Whitfield III, his son, and Joseph Green were asked to act as “Directors and Trustees” for laying out the town.<sup>2</sup> The small town, which was located on the western banks of the Neuse River, grew slowly through the 1830s.

However, by 1838, construction of the Wilmington and Weldon Railroad had begun through the county. Around the same time, Arnold Borden, whose descendants had a role in the development of the studied resource, constructed a hotel at the intersection of the railroad and New Bern Road. Located north of Waynesborough, the intersection was roughly midway between Wilmington and Weldon and was previously a stop along the New Bern and Raleigh stageline. Due to this convenient location and the establishment of the hotel, the crossroads also became a stopping point for the train.<sup>3</sup>

In February 1838, the first train passed through Wayne County. The event was marked by a celebration in Waynesborough replete with an address by Governor Dudley. At 161.5 miles, the Wilmington and Weldon Railroad was the longest railroad in the world, and its establishment connected Wayne County with the state capitol as well as marketing centers across the state.<sup>4</sup>

Ultimately, the confluence of the railroad, which quickly surpassed steamboats as an improved means of transportation, the existing road, and the hotel grew into a popular stop for travelers. This success spurred the construction of dwellings and commercial buildings along the rail line, and soon the burgeoning town attracted many residents of Waynesborough as well. In 1839, the name “Goldsborough’s Junction,” after Major Matthew T. Goldsborough who was an Assistant Chief Engineer for the railroad, was officially adopted for the new community.<sup>5</sup>

As the new town grew, Wayne County residents north of the Neuse River began to advocate for the relocation of the county seat to Goldsborough or Goldsboro as it is known today. In 1845, a vote to this effect failed to garner the needed support but a second vote in 1847 succeeded. Following the reestablishment of the county seat, the population of Waynesborough diminished and the town was eventually abandoned.

On January 1, 1847, the North Carolina General Assembly ratified the first charter of the City of Goldsboro. At some point, a town plan was laid with Center and Walnut Streets forming the north-south and east-west axis of the grid, and in 1849, land was purchased for a new brick courthouse. The desired site for the courthouse was to be between two and four acres and within

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<sup>2</sup> Walk of Honor, “Whitfield, William,” [http://walkofhonor.com/whitfield\\_william\\_army.html](http://walkofhonor.com/whitfield_william_army.html), accessed Nov. 11, 2019.

<sup>3</sup> Goldsboro Department of Planning and Redevelopment, National Register of Historic Places Nomination Form: Goldsboro Historic District (WY0105), 1984.

<sup>4</sup> Ibid.

<sup>5</sup> Ibid.

a half a mile of the Borden Hotel. Contracted at a construction cost of \$17,000, the courthouse was built in 1852 and served Wayne County until 1912.<sup>6</sup>



Figure 3: “Wayne County,” Tucke, 1881 (North Carolina Maps).

The earliest buildings in Goldsboro were situated along the railroad track creating, more or less, a thoroughfare with the track as its centerline. Dwellings were reportedly moved to Goldsboro from Waynesborough and Everittsville, and many early dwellings remain along South John, South William, and North James Streets. Overtime, the blocks were filled with additional dwellings, businesses, and churches and the city grid was further developed and expanded. In 1851, Ira Langston was contracted to lay out Boundary Street, which is now known as Holly Street and forms the southern boundary of the studied resource. At the time, it was the northern

<sup>6</sup> Goldsboro Department of Planning and Redevelopment and Hill Directory Co. *Goldsboro, N. C. Directory, 1906-1907*, Richmond: Hill Directory Co., 1906.

boundary of Goldsboro. The eastern boundary of the studied resource, George Street, was laid out in 1854 by surveyor W. C. Bryan.<sup>7</sup>

In the 1850s, the county's railroad industry grew with the construction of the North Carolina Railroad from Goldsboro to Charlotte in 1856 and the Atlantic and North Carolina Railroad from Goldsboro to Beaufort in 1858.<sup>8</sup> These additions to the existing railroad network greatly increased Goldsboro's significance as a transportation hub and center of commerce and brought even more business in the form of permanent establishments as well as people traveling to or passing through the town.



Figure 4: "Railroad Map of North Carolina," 1900 (North Carolina Maps).

The city's role as a transportation hub also led to it being an important supply route for the Confederate Army during the Civil War. Due to this, the Union chose a railroad bridge across the Neuse River, three miles south of Goldsboro, to stage an attack in December 1862. The Union hoped that destroying the bridge in conjunction with a major victory in Virginia would compromise the Confederate's ability to recoup and leave their capital at Richmond open to attack. On December 11, 1862, General Foster set off from New Bern with an army of 10,000 infantry, 640 cavalry, and 40 guns. His troops arrived at the bridge on December 17 where they encountered Confederate General Thomas Clingman along with nearly 2,000 men and a dozen guns. Within the course of the morning, the Union forces were able to overpower the small opposition and set fire to the bridge as well as destroy two to three miles of tracks south of the bridge. After all was done, the Union troops regrouped and began to make their way back to

<sup>7</sup> Goldsboro Department of Planning and Redevelopment.

<sup>8</sup> Ibid.

New Bern with one brigade of infantry soldiers and one battery of artillery acting as a rear guard.<sup>9</sup>

The Confederate troops, having been reinforced with a portion of General Nathan Evans' army and now outnumbering the remaining Union forces, decided to launch a counterattack by crossing the river at a wagon bridge and attacking the rear guard. The attack, however, attracted the attention of already departed Union troops, beckoning them back to the site of action and quickly flipping the ratio of Union to Confederate troops. Once again, the Union was able to successfully overcome the Confederate forces.<sup>10</sup>

Though the Union forces were successful in destroying the railroad bridge, their efforts were rendered futile by a major loss to General Lee at Fredericksburg. In turn, the Confederacy was able to endure the interruption in supplies and reinforcements. Furthermore, the Confederacy saw to the repair of the bridge and within weeks had reestablished the vital supply route. Following this, Union forces did not return to the Goldsboro area until March 1865 when over 100,000 infantry men led by Generals William T. Sherman, Alfred Terry, and John Schofield captured the city and its railroad system. While there, they used the railroad to resupply a final attempt at capturing Raleigh. On April 10, 1865, a day after Lee's surrender to Grant at Appomattox Courthouse, the troops vacated the city.<sup>11</sup>

It appears that Goldsboro rebounded quickly after the war with many impressive dwellings constructed in the following decades. The growing building stock was also improved through the actions of the city commissions, who, recognizing safety hazards of wood-framed commercial buildings, prohibited their construction in 1873. In 1880, they expanded the prohibition to include wooden storefronts as well. Shortly after, in 1884, the need for this new policy was exemplified by a fire that swept through the business district and destroyed over 25 businesses. In response to the catastrophe, a water system was completed by 1889.<sup>12</sup>

In addition to new building requirements, the building industry was forever changed by widespread advancements in building practices brought on by the Industrial Revolution. This occurrence also brought new industries to Goldsboro. Compared with other communities across the state, Goldsboro's economy was remarkably diverse. Not only did it rely on the cultivation, trade and transportation of agricultural goods, particularly cotton and tobacco, but it also boasted strong furniture, textile, and construction industries as well as businesses geared toward the support of the railroad industry.<sup>13</sup>

In the 1870s, the North Carolina General Assembly selected Wayne County as the location for an African American mental illness facility. The facility, which was planned to serve all of North Carolina, was constructed between 1878 and 1880 on a 171-acre tract, two miles west of

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<sup>9</sup> Goldsborough Bridge Battlefield, "History," <http://goldsbroughbridge.org/history.asp>, accessed Nov. 13, 2019.

<sup>10</sup> Ibid

<sup>11</sup> Ibid.

<sup>12</sup> Goldsboro Department of Planning and Redevelopment.

<sup>13</sup> Ibid.

Goldsboro. The facility was originally named the “Asylum for Colored Insane.” Among other factors, Wayne County was chosen as the site of the facility because of its nearly 50 percent African American population as well as the high concentration of African Americans in the surrounding eastern North Carolina counties.<sup>14</sup> Over the next 85 years, the facility served as the only state facility for African Americans, growing from 76 beds to over 3,000. Following the Civil Rights Act of 1964, the hospital merged with others across the state and began serving all populations. By then the facility was known as the Cherry Hospital, which is still in operation in Goldsboro today.<sup>15</sup>

Other groups represented in Goldsboro in the 1880s include a large Jewish population, which in 1886 constructed the Temple Oheb Sholom on North St. James Street.<sup>16</sup> A family that was influential in the establishment of the church, as well as the development of Goldsboro, was the Weil family. The Weil brothers, Herman, Henry, and Solomon, were successful businessmen, who, in addition to operating their first venture, “H. Weil & Bros.” on Center Street, were involved in the establishment of multiple businesses in the city. They also contributed to many cultural and educational endeavors, including donating the land for Herman Park (named for their brother), and serving on the boards of the Goldsboro Graded Schools and the University of North Carolina. Henry and Solomon’s wives, Mina and Sara, respectively, were also active in the community, and Gertrude Weil, the daughter of Henry and Mina, was active in the women’s suffrage movement.<sup>17</sup>

The population of Wayne County continued to grow in the late nineteenth century reaching 31,356 by 1900, with 5,877 people, or roughly 20 percent of the population residing in Goldsboro.<sup>18</sup> This growth coincided with an increase in the city’s building stock as well as the annexation of areas outside of the original city limits (Figure 5). Another significant change in the early 1900s was the relocation of the railroad from Center Street and the construction of a new passenger depot along the western perimeter of the city. In 1906, a lot of land referred to as “Borden’s Bottom” and part of the original Borden Farm was purchased for the new depot, which was called Union Station and opened in 1909. The depot served both the Norfolk and Southern and the Atlantic Coast Line railroads and spurred commercial and residential development west of the original city core.<sup>19</sup>

By 1925, Goldsboro was known as “The Gate City of Eastern North Carolina” due to its connectivity with other cities across the state. The city directory from that year further describes Wayne County as “one of the leading manufacturing and agricultural counties of the state” and “home of thirty well-established manufacturing plants.” It goes on to share that the plants

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<sup>14</sup> US Census, 1880.

<sup>15</sup> Asylum Projects, “Cherry Hospital,” [http://www.asylumprojects.org/index.php?title=Cherry\\_Hospital](http://www.asylumprojects.org/index.php?title=Cherry_Hospital), accessed Nov. 13, 2019.

<sup>16</sup> Goldsboro Department of Planning and Redevelopment.

<sup>17</sup> David Foard Hood and Joe Mobley, National Register of Historic Places Nomination Form: The Solomon and Henry Weil Houses (WY0008), 1976.

<sup>18</sup> US Census, 1900.

<sup>19</sup> Goldsboro Department of Planning and Redevelopment.



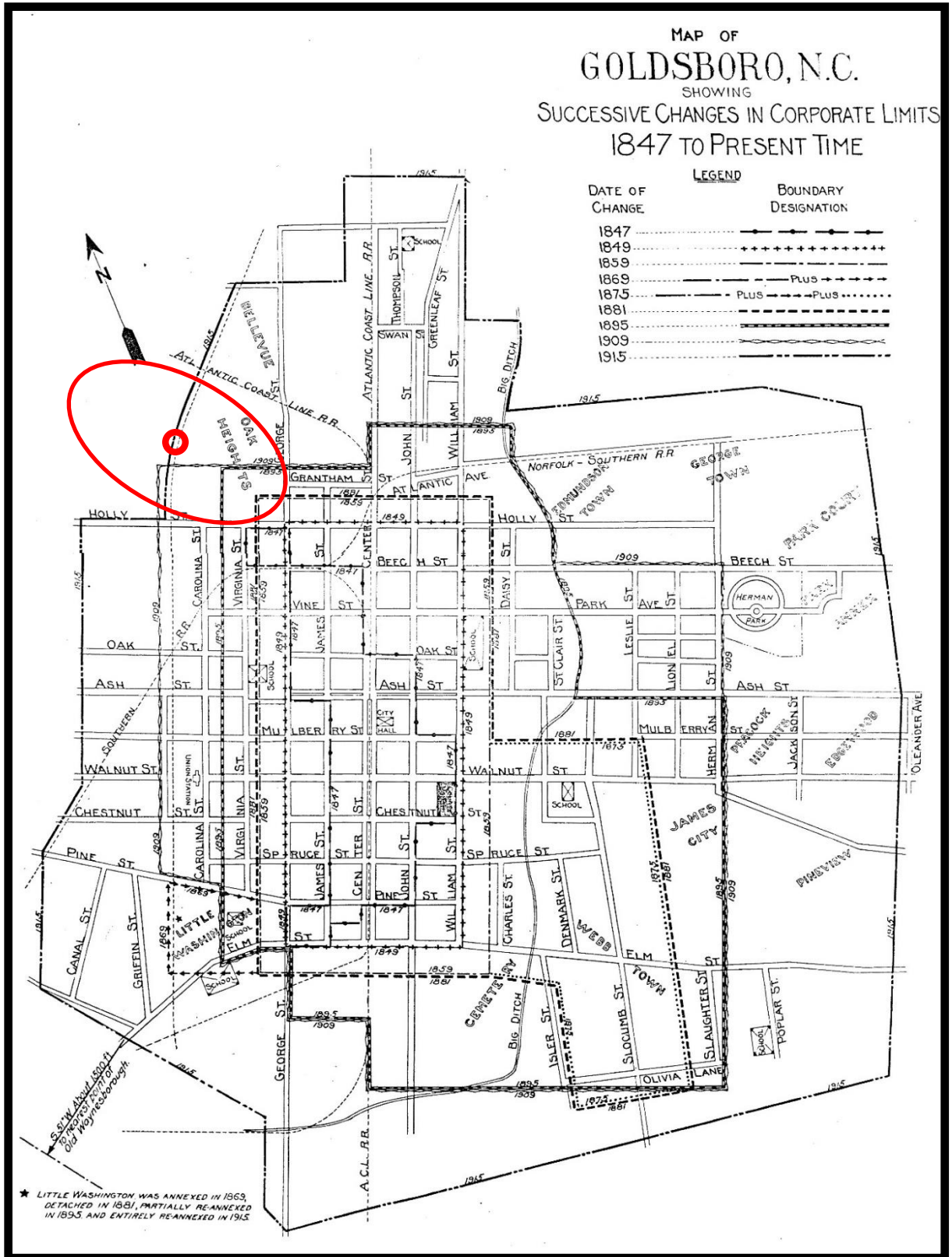


Figure 5: 1915 Map of Goldsboro, N. C. Showing General Location of Bridge No. 20 and the Project Area (Wayne County Register of Deeds Cabinet B, slide 1).

produce brick, veneer, lumber, building supplies, cotton yarn, hosiery, tobacco, locomotives, farm implements, furniture, mattresses, and men's and women's ready-to-wear clothing. A number of these companies had chosen to locate their distribution branches in the city as well, undoubtedly, to capitalize on the north-south and east-west lines of the railroad. Besides from goods, 32 passenger trains transporting shoppers and businessmen ran to and from the city daily.<sup>20</sup>

This success continued through the 1920s and by 1930 the county's population had grown to 53,013 while the city's population had grown to 14,985, nearly triple its number at the turn of the century.<sup>21</sup> The Great Depression, however, brought a pause to the area's growth, slowing business and economic development. Federal relief programs assisted Wayne County through the repair of nearly fifty schools, repairs to Elmwood and Willowdale Cemeteries, improvements to the municipal airport, a brick gymnasium at the William Street School Complex, and the construction of both the Wayne County Administration Building and a new Fire Department Headquarters.<sup>22</sup>

In 1942, Seymour Johnson Field, now the Seymour Johnson Air Force Base, opened just outside of Goldsboro. The field was named for U.S. Navy Lt. Seymour A. Johnson, who was born in Goldsboro and died in an aircraft crash in 1941. The establishment of the base led to an increase in the city's population as well as in the number of businesses that supported the base and its new inhabitants, and by 1950, the population of the county reached 64,267 people and Goldsboro reached 21,454.<sup>23</sup>

Over the next 75 years, the air force base grew into Wayne County's largest employer, with over 7,000 employees by 2019. Other large employers include the county's school system, and Wayne Memorial Hospital. Though the railroads ended passenger service in 1968, both the CSX and Norfolk Southern Railroads still operate in the county.<sup>24</sup>

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<sup>20</sup> Hill Directory Co. *Goldsboro, N. C. City Directory, 1925*, Richmond: Hill Directory Co., 1925.

<sup>21</sup> US Census, 1930.

<sup>22</sup> Goldsboro Department of Planning and Redevelopment.

<sup>23</sup> Seymour Johnson Air Force Base, "Seymour Johnson Air Force Base History," <https://www.seymourjohnson.af.mil/About-Us/Fact-Sheets/Seymour-Johnson-Air-Force-Base-History/>, accessed Nov. 13, 2019 and US Census, 1950.

<sup>24</sup> Wayne County Chamber of Commerce, *Windows of Wayne*, 2019 and Goldsboro Department of Planning and Redevelopment.

# PROPERTY INVENTORY AND EVALUATION

Resource Name:	Oak Heights Historic District
NCDOT Survey Site Number:	001
HPO Survey Site Number:	WY1459
Bound By:	North Carolina Street, Murray Street, N. George Street, and W. Holly Street, Goldsboro, North Carolina
Parcel ID:	Multiple
Dates(s) of Construction:	1925-1960
Recommendation:	Not Eligible

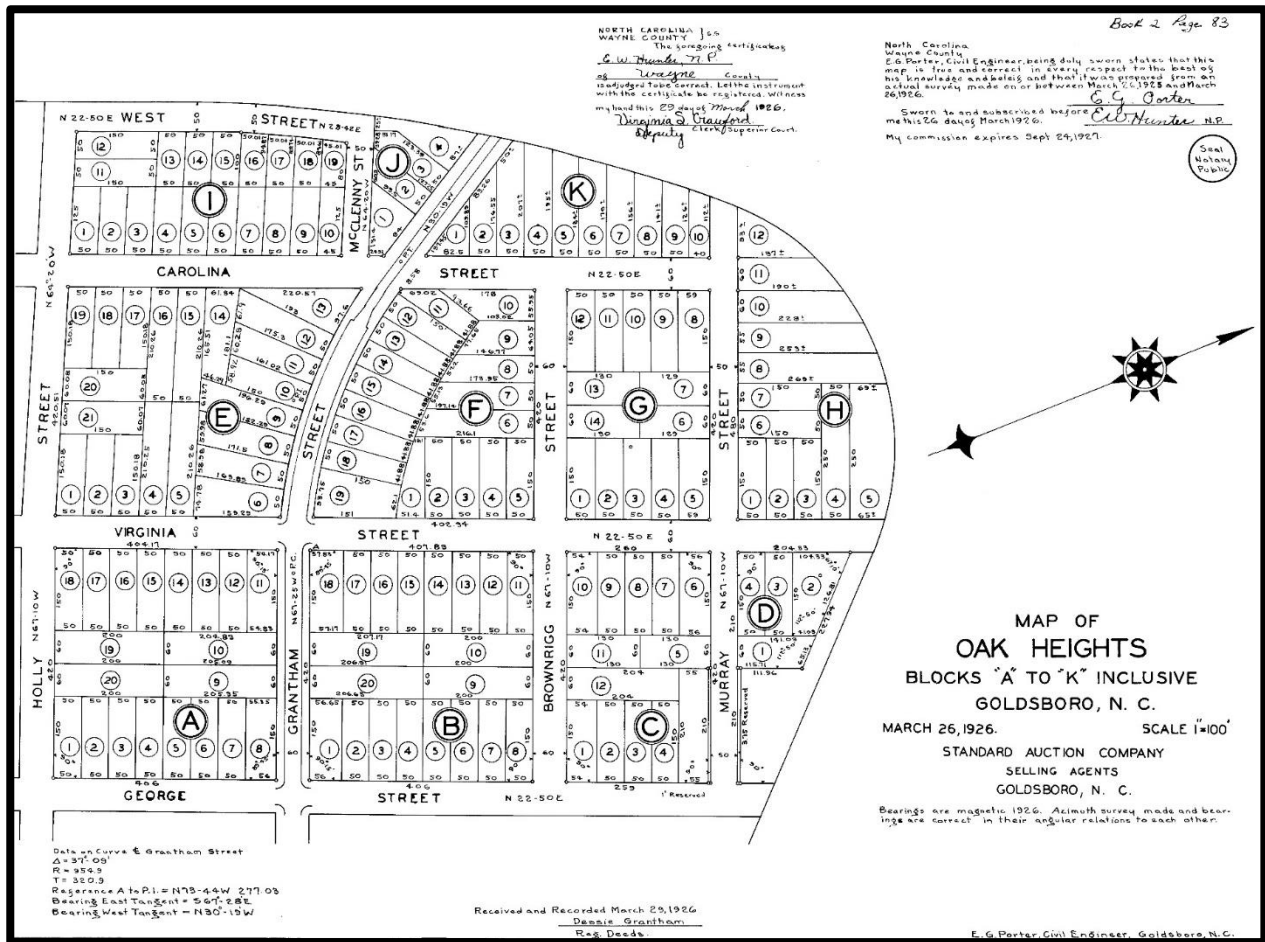


Figure 6: "Map of Oak Heights," 1926 (Wayne County Register of Deeds Book 2, page 83).

## Setting

The Oak Heights Historic District is located northwest of the historic core of Goldsboro in an area that was once defined by late nineteenth- and early twentieth-century industrial development. A still-functioning vestige of this era is the CSX railroad line, which forms the western and northern boundary of the district. The railroad line is crossed by Bridge No. 20, the



Figure 7: West Grantham and North Carolina Streets, Looking Northwest to Bridge.



Figure 8: West Grantham Street and Bridge, Looking Southeast to Oak Heights.

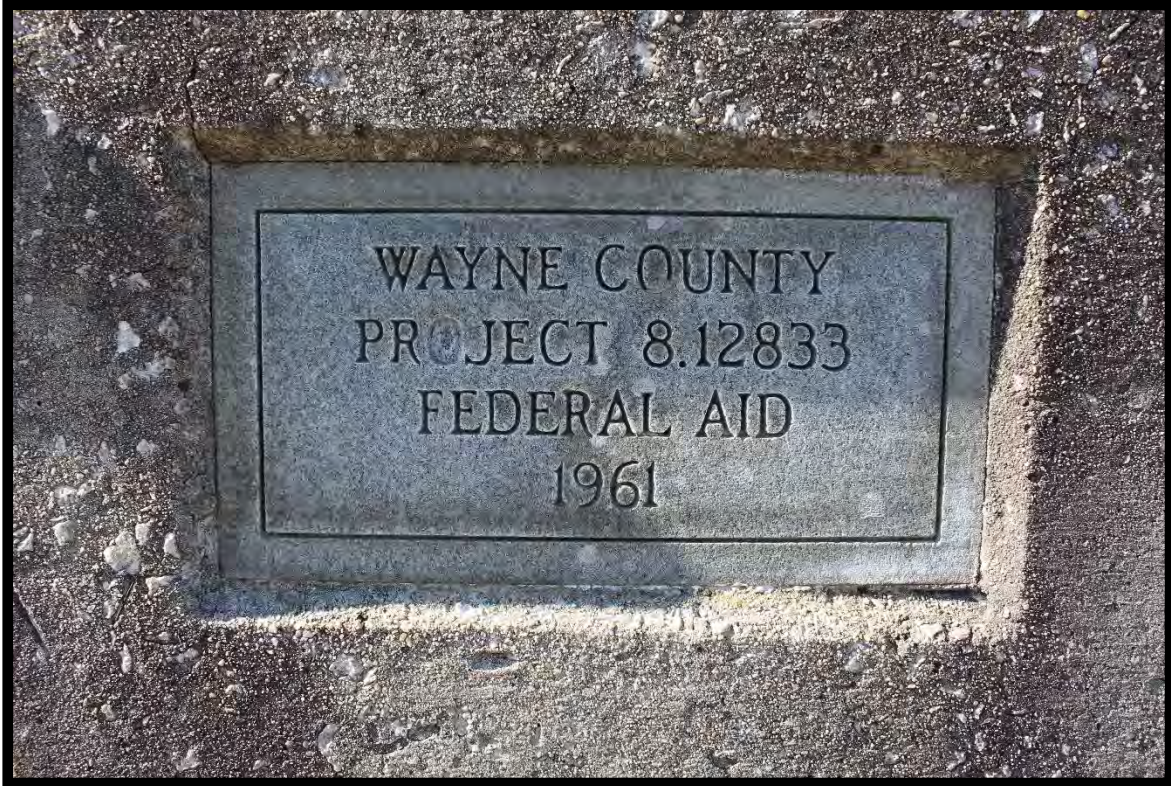


Figure 9: Bridge Marker.

replacement of which is the basis for this study (Figures 7 and 8). Constructed in 1961, the bridge acts as an entry point to the district and connects Goldsboro's historic downtown with later development to the west (Figure 9). The southern and eastern boundaries of the district are formed by West Holly and North George Streets, which separate it from a number of large warehouses. West Grantham Street (US 70 Business) bisects the district from west to east and is characterized by a mix of residential and commercial development including the Franklin Baking Co., McLamb Monument Company, an automobile detailing shop, and a gas station (Figure 10). Aside from these commercial properties, the district is defined by blocks of small, mid-twentieth-century dwellings on long, narrow lots with pockets of vacant lots, some of which are due to demolition. The effects of demolition are particularly apparent in the 400 block of West Holly Street (Block E in Figure 6) where the Franklin Baking Company has acquired multiple lots (Figure 11). On other blocks, the presence of demolitions and otherwise vacant lots is more scattered. Throughout the district, domestic yards are shaded by mature trees and a generous tree line provides a visual barrier for the railroad line (Figures 12 and 13).



Figure 10: West Grantham and North George Streets, Looking Northwest to Oak Heights.



Figure 11: West Holly and North Virginia Streets, Looking Northwest.



Figure 12: Murray and North George Streets, Looking Southwest.



Figure 13: Murray and North Virginia Streets, Looking Southwest.

## Property Descriptions

Property descriptions for the Oak Heights Historic District are organized by block and lot number (see Figure 6).

### Block A

This section was laid out with 20 lots and through subsequent division and recombination now contains 21 lots. Though the area was platted in 1925, the Wayne County Tax Department lists 1900 as the construction date and dates between 1925 and 1940 as the “effective year built” for each extant building, except for the commercial buildings on the corner of West Grantham and North George Streets that were reportedly constructed in the 1950s. At least four structures have been lost to demolition or fire, including structures on lots 1, 9, 10, and 15.

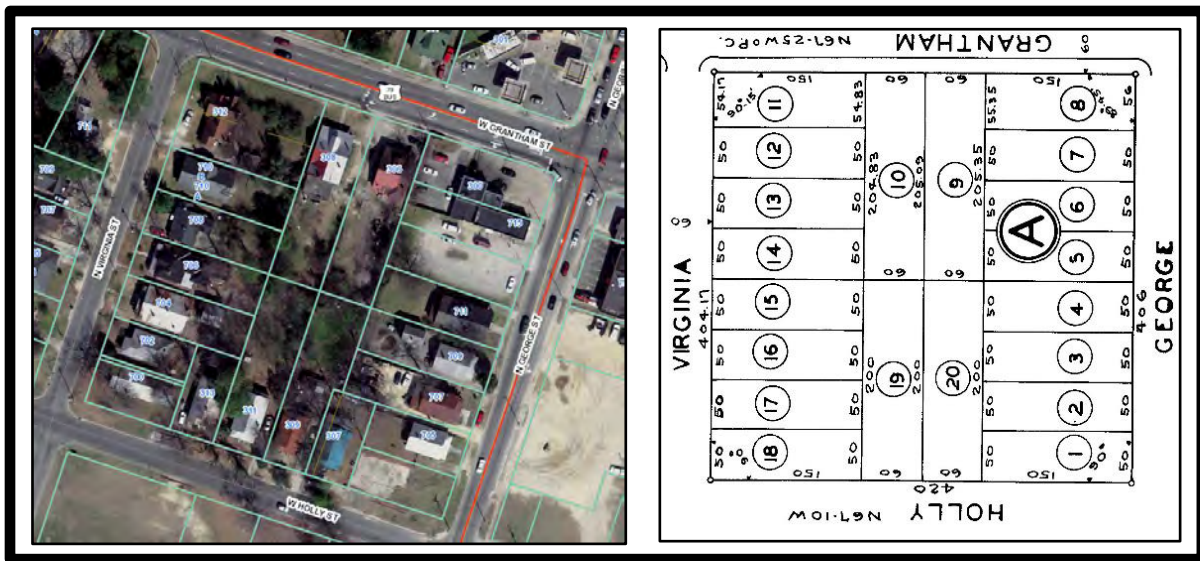


Figure 14: 2008 Aerial Image Compared with Block A of the 1926 Plat (Wayne County GIS and Wayne County Register of Deeds Book 2, page 83).

#### Vacant

701 North George Street

Demolished prior to 1993 (Figure 15).

#### House

705 North George Street

Ca. 1925, one-story Craftsman-style dwelling with a front-gabled, standing seam metal, jerkinhead roof; wooden weatherboard siding; brick foundation; hip-roofed porch with original paired, full-height posts filled with lattice; two-over-two, horizontal-pane, wooden sash windows; exposed rafter tails; gallows brackets; and two interior brick chimneys (Figure 16).



### House

707 North George Street

Ca. 1925, one-story Craftsman-style dwelling with a front-gabled, standing seam metal, jerkinhead roof; wooden weatherboard siding; hip-roofed porch with thin paired posts and an open balustrade; six-over-six, wooden sash windows; exposed rafter tails; gallows brackets; and two interior brick chimneys (Figure 17).

### House

709 North George Street

Ca. 1925, one-story Craftsman-style dwelling with a front-gabled, standing seam metal roof; vinyl siding; brick foundation; hip-roofed porch with thin metal posts; six-over-six, vinyl sash windows; exposed rafter tails; gallows brackets; and two interior brick chimneys. A two-story, gabled structure, likely an apartment, stands behind the dwelling (Figure 18).

### House

711 North George Street

Ca. 1925, one-story Craftsman-style dwelling with a front-gabled, standing seam metal roof; vinyl siding; brick foundation; integral porch with short Tuscan columns on brick pedestals and a turned balustrade; six-over-six, likely vinyl sash windows; exposed rafter tails; gallows brackets; and three brick chimneys (Figure 19).

### Commercial Building

715 North George Street

Ca. 1950, brick commercial building with a replacement aluminum and brick storefront and a tall parapet. Associated with the business at 300 West Grantham Street and shares a wall with the building (Figure 20).

### Commercial Building

300 West Grantham Street

Ca. 1955, concrete block automobile garage composed of two sections – a waiting room/office and a garage space – and connected to the commercial building at 715 North George Street. The waiting room/office is nestled in a corner between 715 North George Street and the garage and has an aluminum entry door and storefront windows that wrap its northeast corner. The garage projects forward (north) from the waiting room/office and has two large garage bays (Figure 21).

### Vacant

306 West Grantham Street

Dwelling burned ca. 2013 (Figure 22).

Vacant

308 West Grantham Street

Dwelling demolished ca. 2013 (Figure 22).

House

312 West Grantham Street

Ca. 1925, one-and-one-half story, brick, Tudor Revival-style dwelling with a side-gabled, asphalt shingle roof and two steeply pitched, forward facing gables. The larger gable projects forward and contains a replacement entry door, and the smaller gable is filled with vertical boards above paired, six-over-one, likely vinyl sash windows. The dwelling also features exposed rafter tails; two or three brick chimneys; a small side porch with arched openings that have been enclosed with vertical paneling; and a large, gabled, rear wing and is situated on a double lot with a large side yard (Figure 23).

House

710 North Virginia Street

Ca. 1925, one-story, Craftsman-style dwelling with a front-gabled, asphalt shingle roof; brick laid in a Flemish bond pattern; and an integral porch with both brick and thin wooden columns on brick pedestals. The porch shelters a three-bay façade with paired multi-light-over-one-light, wooden sash windows that flank an off-center, multi-light entry door. The front gable is filled with wooden shingles, lit by a small multi-light-over-one-light, wooden sash window, and finished with gallows brackets. Exposed rafter tails are present along the sides of the dwelling and two brick chimneys rise from the roof (Figure 24).

House

708 North Virginia Street

Ca. 1940, one-story, brick, Minimal Traditional-style dwelling with a side-gabled, asphalt shingle roof. Its five-bay façade consists of a side porch, a large picture window, an entry door flanked by fluted pilasters, a large picture window, and a small window. Each of the apertures are sheltered by a metal awning and two brick chimneys (Figure 25).

Vacant

706 North Virginia Street

Dwelling demolished ca. 2015 (Figure 26).

House

704 North Virginia Street

Ca. 1925, one-and-one-half story Craftsman-style dwelling with a front-gabled, standing seam metal roof; wooden weatherboard siding; a brick pier/brick infill foundation; a hip-roofed porch with slender, battered box columns on brick pedestals that shelters a symmetrical façade with an entry door flanked by six-over-six, wooden sash windows; exposed rafter tails; gallows brackets;

and three brick chimneys. A two-story, gabled structure, likely an apartment, stands behind the dwelling (Figure 27).

House

702 North Virginia Street

Ca. 1925, one-story dwelling with a hipped, standing seam metal roof; wooden weatherboard siding; and a brick foundation. Its three-bay façade consists of a six-over-six, wooden sash windows; a four-over-one, vertical light wooden sash window, and a replacement entry door. The second and third bays are sheltered by a section of the hipped roof that projects over a brick porch and is supported by thin wooden posts. Two brick chimneys rise from the roof (Figure 28).

House

700 North Virginia Street

Ca. 1925, one-story Craftsman-style dwelling with a front-gabled, standing seam metal roof; vinyl siding; a brick foundation; and a front-gabled porch with squat battered box columns on brick pedestals. The porch shelters an off-center entry door flanked by four-over-one, vertical light wooden sash windows, and the roof of the dwelling is finished with exposed rafter tails and gallows brackets. Two brick chimneys rise from the roof (Figure 29).

House

313 West Holly Street

Ca. 1925, one-story dwelling with a front-gabled, standing seam metal roof; vinyl siding; and a brick foundation. A forward-facing gable projects from the west side of the façade and shelters an enclosed porch. To its east is a one-over-one, vinyl sash window. Two brick chimneys rise from the roof (Figure 30).

House

311 West Holly Street

Ca. 1925, one-story Craftsman-style dwelling with a front-gabled, standing seam metal, jerkinhead roof; wooden weatherboard siding; and a hip-roofed porch supported by thin wooden posts. The porch shelters an entry door flanked by windows that appear to be one-over-one, vinyl replacements, and the west side of the porch is screened in. The gable contains a pair of six-light, fixed-sash windows flanked by gallows brackets and at least one brick chimney rises from the roof (Figure 31).

House

309 West Holly Street

Ca. 1925, one-story Craftsman-style dwelling with a front-gabled, standing seam metal roof; wooden weatherboard siding; and a hip-roofed porch supported by paired wooden posts. The porch shelters an entry door flanked by windows that are concealed, and the west side of the porch is screened in. Both the entry door and east window have decorative surrounds. The gable

contains a pair of six-light, fixed-sash windows and is finished with gallows brackets. At least one brick chimney rises from the roof (Figure 32).

House

307 West Holly Street

Ca. 1925, one-story Craftsman-style dwelling with a front-gabled, standing seam metal, jerkinhead roof; wooden weatherboard siding; and a hip-roofed porch supported by paired wooden posts. The porch is enclosed on the west and shelters an entry door and six-over-six, wooden sash window on the east. The front elevation of the enclosed section contains a paired window sheltered by an awning. The gable contains a pair of six-light, fixed-sash windows flanked by gallows brackets and the eaves exhibit exposed rafter tails. At least one brick chimney rises from the roof (Figure 33).



Figure 15: Vacant, 701 North George Street, Looking West.



Figure 16: House, 705 North George Street, Looking West.



Figure 17: House, 707 North George Street, Looking West.

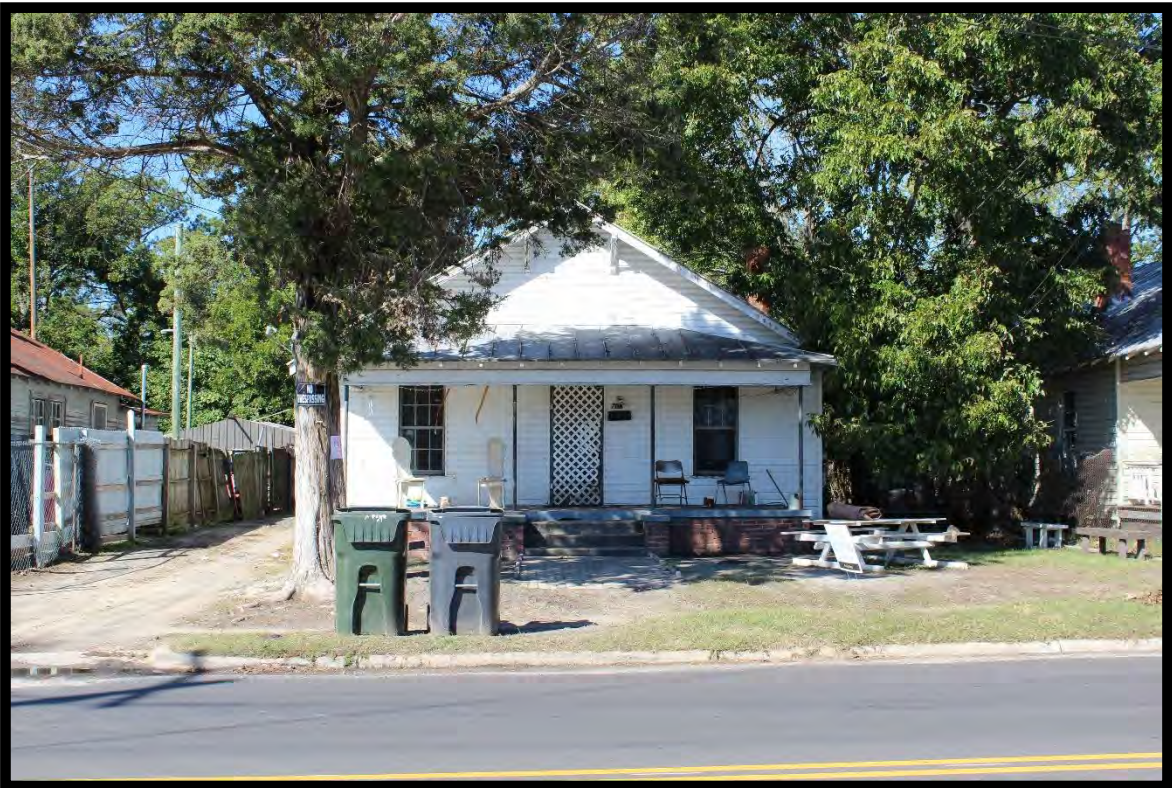


Figure 18: House, 709 North George Street, Looking West.



Figure 19: House, 711 North George Street, Looking West.



Figure 20: Commercial Building, 715 North George Street, Looking Northwest.



Figure 21: Commercial Building, 300 West Grantham Street, Looking Southeast.



Figure 22: Vacant, 306 and 308 West Grantham Street, Looking South.





Figure 23: House, 312 West Grantham Street, Looking South.



Figure 24: House, 710 North Virginia Street, Looking East.



Figure 25: House, 708 North Virginia Street, Looking East.



Figure 26: Vacant, 706 North Virginia Street, Looking East.



Figure 27: House, 704 North Virginia Street, Looking East.



Figure 28: House, 702 North Virginia Street, Looking East.



Figure 29: House, 700 North Virginia Street, Looking East.



Figure 30: House, 313 West Holly Street, Looking North.



Figure 31: House, 311 West Holly Street, Looking North.



Figure 32: House, 309 West Holly Street, Looking North.



Figure 33: House, 307 West Holly Street, Looking North.

## Block B

This section was laid out with 20 lots and though some divisions and combinations have occurred it still contains 20 lots. Though platted in 1925, according to the Wayne County Tax Department, five buildings predate the subdivision. The remaining extant buildings date from 1929 through 1966 and include two commercial properties, a church, and 14 dwellings.

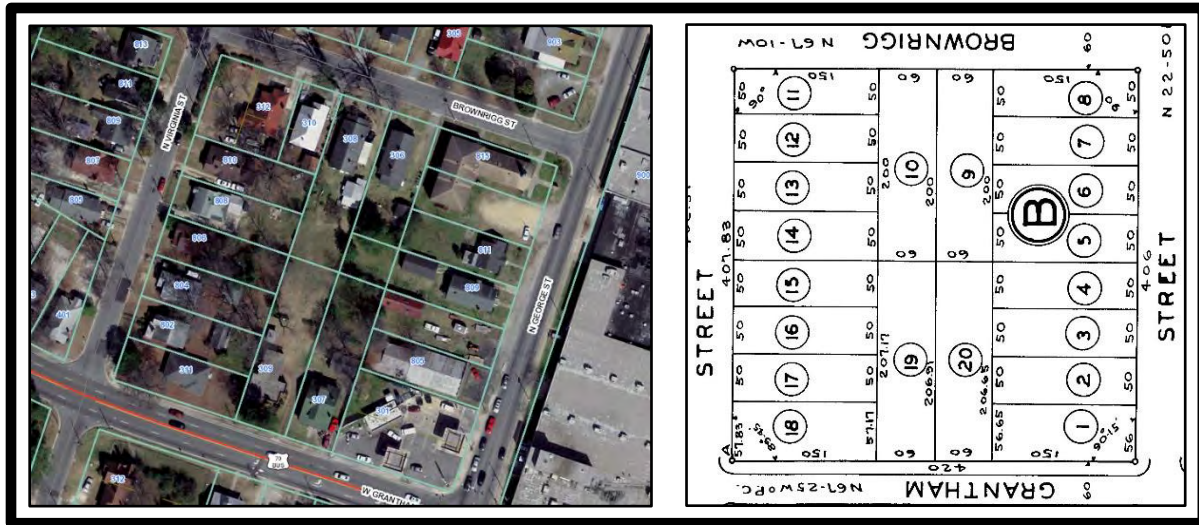


Figure 34: 2008 Aerial Image Compared with Block B of the 1926 Plat (Wayne County GIS and Wayne County Register of Deeds Book 2, page 83).

### Gas Station

301 West Grantham Street

Ca. 1966, one-story, concrete block gas station with a flat roof, a glass and metal façade and a slightly projecting, ribbon-like parapet with blue and red stripes that wraps the front and side elevations. Its entry door is centered on the façade and flanked by large ribbon windows over wide blue and red horizontal stripes. The gas station stands at the northwest corner of its double lot – Lots 1 and 2 of the original block layout – and is oriented toward the intersection of West Grantham and North George Streets. Two square awnings, one along West Grantham Street and one along North George Street, are supported by tall metal posts and shelter one and two gas pumps, respectively. The awnings reflect the design of the building’s parapet with blue and red stripes (Figure 35).

### Commercial Building

805 North George Street

Ca. 1950, one-story, brick commercial building with a front-gabled, standing seam metal roof concealed by a stepped parapet. A nearly full-width porch with an asphalt shingled, hipped roofed supported by thin metal posts spans the façade and shelters a bank of four display windows above horizontal wooden paneling and a recessed area with a garage door and two six-panel entry doors. A front-gabled garage is located on the parcel immediately north of this parcel and has the same owner as the commercial building (Figures 36 and 37).

### House

809 North George Street

Ca. 1940, one-story, Minimal Traditional-style dwelling with a front-gabled, asphalt shingled roof; asbestos siding; a brick foundation; and a large, front-gabled porch supported by decorative iron posts. The porch shelters a centered entry door flanked by two-over-two, horizontal-pane, wooden sash windows and three brick chimneys rise from the roof (Figure 38).

### House

811 North George Street

Ca. 1950, one-story, brick, Minimal Traditional-style dwelling with a side-gabled, asphalt shingled roof and a small, pedimented porch supported by thin posts. The porch shelters an entry door and is flanked by a picture window on the south and large and small multi-pane windows on the north. A brick chimney rises from the center of the roofline (Figure 39).

### Church

815 North George Street

Ca. 1965, one-story brick church with a front-gabled, standing seam metal roof; a pedimented entry porch; a steeple; and a two-story, hip-roofed, rear addition. Both the front gable and steeple are clad with vinyl siding. The porch is supported by fluted, square, metal columns and shelters a glass entry door below a broken pediment and flanked by arched windows filled with tinted, textured glass. Similar arched windows light the side elevations, and the rear addition is lit by three-light, horizontal-pane and single-pane metal sash windows and eight-over-eight, vinyl sash windows (Figure 40).

### House

306 Brownrigg Street

Ca. 1925, one-story dwelling with a front-gabled, asphalt shingled roof; vinyl siding; a brick foundation; and an integral porch supported by decorative iron posts. The porch shelters an off-center, multi-light entry door flanked by one-over-one, vinyl sash windows, and two interior brick chimneys rise from the roof (Figure 41).

### House

308 Brownrigg Street

Ca. 1925, one-story dwelling with a front-gabled, asphalt shingled roof; vinyl siding; a brick foundation; exposed rafter tails; and a front-gabled porch supported by squat battered box columns on brick pedestals. The porch shelters an off-center, replacement entry door flanked by vertical-light, wooden sash windows, and two interior brick chimneys rise from the roof (Figure 42).



### House

310 Brownrigg Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, standing seam metal roof; wooden weatherboard siding; a brick foundation; and an off-center, front-gabled porch supported by narrow battered box columns on brick pedestals. The porch shelters a six-panel entry door flanked on the west by a picture window, and a six-over-six, vinyl sash window exists beyond the porch. Some original vertical light windows remain on the side elevations and two brick chimneys rise from the roof (Figure 43).

### House

312 Brownrigg Street

Ca. 1925, one-story, Craftsman-style dwelling with a hipped, standing seam metal roof; aluminum siding; a brick foundation; and an off-center, hip-roofed porch supported by decorative iron posts. The porch shelters an entry door flanked on the west by paired, four-over-one, vertical light windows and a similar, but individual, window exists beyond the porch. The dwelling is situated on a reconfigured corner lot and is larger than most of the other dwellings in the neighborhood with a small side wing that extends west and contains an additional entry door and picture window. The dwelling is detailed with exposed rafter tails and two brick chimneys rise from the roof (Figure 44).

### House

810 North Virginia Street

Ca. 1925, one-story, Craftsman-style dwelling with a roof that is front-gabled, but with an integral, hip-roofed porch and an off-center, forward facing gable. The roof is clad with asphalt shingles while the elevations are finished with wooden weatherboard siding and the dwelling rests on a brick foundation. The porch is supported by wooden Tuscan columns and shelters an entry door and six-over-six, wooden sash window. The forward-facing gable contains a pair of windows as well, though they are concealed by an awning and screens. The roof is finished with exposed rafter tails and gallows brackets and has three brick chimneys (Figure 45).

### House

808 North Virginia Street

Ca. 1950, one-story, Minimal Traditional-style dwelling with a side-gabled, standing seam metal roof; aluminum siding; and a small, pedimented porch supported by thin posts. The porch shelters an entry door and is flanked on the south by a picture window and two one-over-one windows, the second of which is smaller. A chimney rises from the rear slope of the roof (Figure 46).

### House

806 North Virginia Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, standing seam metal roof; vinyl siding; and a brick foundation. A full-width porch with an off-center gable spans the

façade and is supported by slender columns on brick pedestals. It shelters an entry door flanked on the south by paired six-over-six, wooden sash windows. Though no chimneys were visible, the dwelling likely has one or more brick chimneys (Figure 47).

House

804 North Virginia Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, asphalt shingle roof; vinyl siding; a brick foundation; and an off-center, front-gabled porch supported by battered box columns on brick pedestals. The porch shelters a multi-light over panels entry door and is flanked on the south by paired one-over-one, vinyl sash windows. Two brick chimneys rise from the roof. A side-gabled shed/garage stands behind the dwelling (Figure 48).

House

802 North Virginia Street

Ca. 1930, one-story, brick, Tudor Revival-style dwelling with a side-gabled, asphalt shingle roof and a forward-facing gable with faux half-timbering. A partial-width, flat-roofed porch shelters an entry door and window and is flanked on the north by paired six-over-six, vinyl sash windows. Both the porch and paired windows have metal awnings as well. Two brick chimneys rise from the roof. A side-gabled garage stands behind the dwelling (Figure 49).

House

311 West Grantham Street

Ca. 1950, one-story, brick, Ranch-style dwelling with a hipped, asphalt shingle roof. The façade is composed of an eight-over-eight, vinyl sash window; a recessed porch with an entry door and paired eight-over-eight, vinyl sash windows; and a small projecting wing with an off-center, eight-over-eight, vinyl sash window (Figure 50).

House

309 West Grantham Street

Ca. 1950, one-story, brick, Modern dwelling with a flat roof. The façade is composed of two sections, one of which is recessed from the other. The forward section is lit by a window that wraps the southwest corner of the dwelling with paired two-over-two, horizontal-pane windows on each elevation. A flat eave projects over this section. A small flat-roofed porch supported by thin posts is nestled in the corner of the two sections and shelters an entry door with three square windows. East of the porch is an exterior chimney with rusticated stone detailing and east of the chimney is another corner window. The recessed section is wrapped with a parapet (Figure 51).

House

307 West Grantham Street

Ca. 1925, one-and-one-half story, Craftsman-style dwelling with a side-gabled, asphalt shingle roof; wooden weatherboard siding; a brick foundation; and an integral porch supported by battered box columns on brick pedestals. The porch shelters a multi-pane entry door flanked by

paired multi-light over single-pane, wooden sash windows. Its roof features exposed rafter tails, gallows brackets, a large dormer with a tripled window, and two brick chimneys (Figure 52).



Figure 35: Gas Station, 301 West Grantham Street, Looking Northwest.



Figure 36: Commercial Building, 805 North George Street, Looking West.



Figure 37: Garage, 807 North George Street, Looking West.



Figure 38: House, 809 North George Street, Looking West.



Figure 39: House, 811 North George Street, Looking West.



Figure 40: Church, 815 North George Street, Looking Northwest.



Figure 41: House, 306 Brownrigg Street, Looking South.



Figure 42: House, 308 Brownrigg Street, Looking South.



Figure 43: House, 310 Brownrigg Street, Looking South.



Figure 44: House, 312 Brownrigg Street, Looking Southeast.





Figure 45: House, 810 North Virginia Street, Looking East.



Figure 46: House, 808 North Virginia Street, Looking East.



Figure 47: House, 806 North Virginia Street, Looking East.



Figure 48: House, 804 North Virginia Street, Looking East.



Figure 49: House, 802 North Virginia Street, Looking East.



Figure 50: House, 311 West Grantham Street, Looking North.



Figure 51: House, 309 West Grantham Street, Looking North.



Figure 52: House, 307 West Grantham Street, Looking North.

## Blocks C and D

Blocks C and D were laid out with 12 and four lots, respectively. Block C has retained its original configuration except for the division of Lots 6 and 7 into three lots oriented toward Murray Street and that Block D has been reconfigured to have three lots that all orient to Murray Street. According to the Wayne County Tax Department the dwellings were constructed between 1900 and 1955. Two of the original lots appear to have never been built on (except for a shed on Lot 5) while a dwelling on Lot 10 was demolished in 2018.

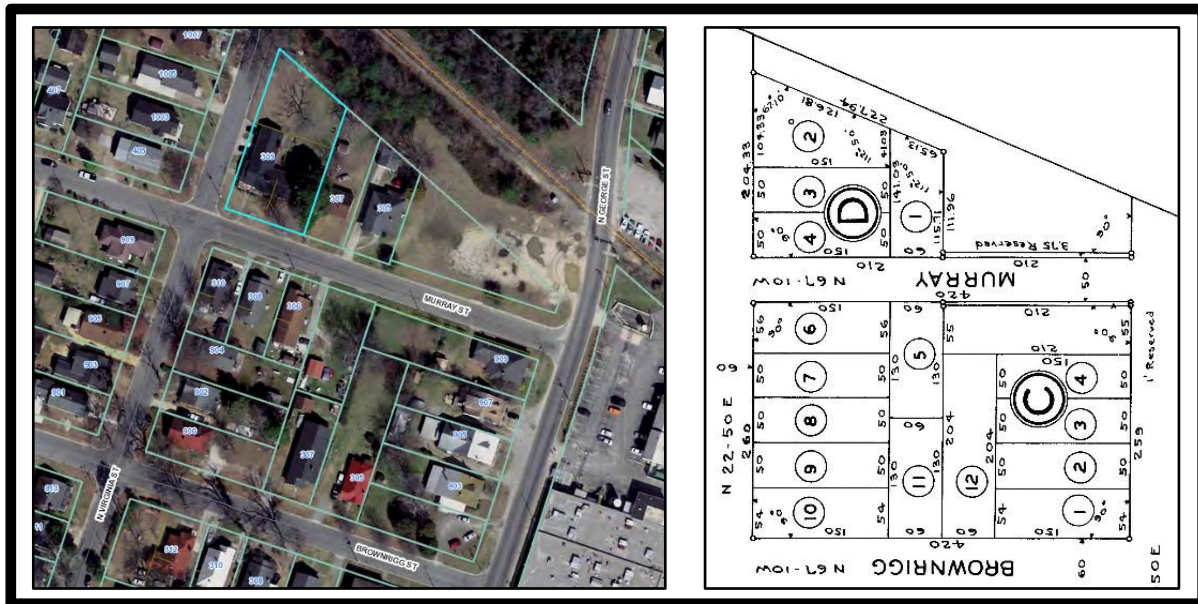


Figure 52: 2008 Aerial Image Compared with Blocks C and D of the 1926 Plat (Wayne County GIS and Wayne County Register of Deeds Book 2, page 83).

### Block C

#### Vacant

901 North George Street

Sidyard of 903 North George Street.

#### House

903 North George Street

Ca. 1925, one-and-one-half story, Craftsman-style dwelling with a side-gabled, metal roof – half standing seam and half ribbed; vinyl siding; a brick foundation; and an integral porch supported by battered box columns on brick pedestals. The porch shelters a multi-pane entry door flanked by paired multi-light over single-pane, wooden sash windows. There is also a large side porch with a ramp on the south elevation. The roof features a large dormer with paired, vertical-light windows and two brick chimneys (Figure 53).

House

905 North George Street

Ca. 1925, one-and-one-half story, Craftsman-style dwelling with a side-gabled, standing seam metal roof; vinyl siding; a brick foundation; and an integral porch supported by battered box columns on brick pedestals. The porch shelters an off-center, multi-pane entry door flanked by paired six-over-one, vinyl sash windows. Its roof features a large dormer with paired, nine-over-one, vinyl sash windows and two brick chimneys (Figure 54).

House

907 North George Street

Ca. 1950, one-and-one-half story dwelling with a side-gabled, asphalt shingle roof; asbestos siding; and a brick foundation. A shed-roofed porch supported by thin posts spans the façade and shelters three entry doors separated by one-over-one, vinyl sash windows. Each entry door has a small brick stoop opposed to a continuous deck. The roof features two dormers with six-over-six, vinyl sash windows and a chimney rises from the rear slope (Figure 55).

House

909 North George Street

Ca. 1925, one-story, Craftsman-style dwelling with a hipped, asphalt shingle roof; wooden weatherboard siding; a parged foundation; and an integral porch. The porch is supported by decorative iron posts and shelters an entry door flanked by paired multi-light over single-pane, wooden sash windows behind bars. The roof features exposed rafter tails, and a hip-roofed wing extends from the rear of the dwelling as well. Two chimneys once rose from the roof but appear to have been removed when the roof was replaced, sometime between 2012 and 2019 (Figure 56).

Vacant

304 Murray Street

Sideyard of 306 Murray Street.

House

306 Murray Street

Ca. 1925, one-story, brick dwelling with a front-gabled, asphalt shingle roof and an off-center, front-gabled porch supported by decorative iron posts on brick pedestals. The porch shelters an entry door with a decorative screen that is flanked by paired three-over-one, vertical-light, wooden sash windows, and a second, identical window exists east of the porch. Though the porch is partial width, its patio is full width and has a decorative iron balustrade. The gable of the dwelling and porch are both filled with vinyl siding and have rectangular vents (Figure 57).

House

308 Murray Street

Ca. 1925, one-story, brick dwelling with a front-gabled, asphalt shingle roof and a front-gabled porch supported by thin, turned posts on brick pedestals. The porch shelters an entry door flanked by paired three-over-one, vertical-light, wooden sash windows. The gable of the porch is filled with vinyl siding, and a small window or vent has been covered with vinyl as well. Two brick chimneys rise from the roof (Figure 58).

House

310 Murray Street

Ca. 1925, one-story, brick dwelling with a side-gabled, standing seam metal roof and an integral porch supported by decorative iron posts between an iron balustrade. The porch shelters an entry door flanked by paired three-over-one, vertical-light, wooden sash windows. The forward slope of the roof features a gable filled with vinyl siding and a small vent, and a brick exterior chimney has been removed from the east elevation (Figure 59).

House

904 North Virginia Street

Ca. 1925, one-story, brick, Craftsman-style dwelling with a front-gabled, asphalt shingle, jerkinhead roof; and a hip-roofed porch supported by decorative iron posts. The porch shelters an entry door with vertical lights flanked by paired, three-over-one, vertical-light, wooden sash windows. The gable is filled with German lap siding and a brick chimney rises from the north slope of the roof. Exposed rafter tails are present below the eave of the roof (Figure 60).

House

902 North Virginia Street

Ca. 1950, one-story, brick dwelling with a gable-and-wing form. The dwelling has an asphalt shingle roof and an integral porch nestled between its gable and wing. The porch is supported by a decorative iron corner post and shelters an entry door and three-part picture window. The forward-facing gable contains an eight-over-eight, wooden sash window. A brick chimney rises from the ridge of the roof (Figure 61).

Vacant

900 North Virginia Street

Dwelling demolished ca. 2018.

House

307 Brownrigg Street

Ca. 1925, one-story dwelling with a front-gabled, asphalt shingle roof; vinyl siding; a brick foundation; and an off-center, front-gabled porch that has been enclosed with a ribbon of tall windows. An entry door with a single large light accesses the porch, and a replacement entry

door is visible on the interior. Two nine-over-nine, vinyl sash windows are present east of the porch and a chimney rises from the east slope of the roof (Figure 62).

### House

305 Brownrigg Street

Ca. 1925, one-story, brick dwelling with a hipped, standing seam metal roof and a full-width porch that has a gable-and-wing form. The porch is supported by thin metal posts and shelters a six-panel entry door flanked by paired, one-over-one, vinyl sash windows. The gables of the porch are both filled with vinyl siding and a brick chimney rises from the east slope of the roof (Figure 63).



## Block D

### Vacant

1001 North George Street

This parcel was excluded from the land purchased for Oak Heights and appears to have never been developed.

### House

305 Murray Street

Ca. 1925, one-story, Craftsman-style dwelling with a hipped, asphalt shingle roof; vinyl siding; a concrete block foundation; and an off-center, front-gabled porch that has been enclosed. The porch once wrapped the southwest corner of the dwelling and sheltered an entry door and paired three-over-one, vertical-light windows on the front façade as well as a side door on the west.<sup>25</sup> The new exterior elevation contains three multi-light, fixed, vinyl sash windows and a six-panel entry door. Three concrete block pedestals from the original porch have been incorporated in the elevation and the gable retains horizontal siding and gallows brackets. The recessed elevation, east of the porch, contains a one-over-one, vinyl sash window and exposed rafter tails are present below the eave. Brick chimneys rise from the east and west slopes of the roof (Figure 64).

### House

307 Murray Street

Ca. 1950, one-story dwelling with a side-gabled, asphalt shingle roof; aluminum siding; and a concrete block foundation. A small integral porch is cut from the southwest corner of the dwelling and shelters an entry door on the west-facing elevation. The façade is lit by a three-part picture window and a two-over-two, horizontal-pane, wooden sash window. A chimney rises from the forward slope of the roof (Figure 65).

### House

309 Murray Street

Ca. 1950, one-story, brick, Ranch-style dwelling with a side-gabled, asphalt shingle roof and an elevated terrazzo patio that wraps its southwest corner and is lined with a decorative iron balustrade. The façade is lit by multiple configurations of one-over-one, vinyl sash windows and an entry door arranged from west to east as tripled windows, door, quadrupled windows, a single window, and tripled windows. The first set of tripled windows and the single window are squatter than the others. The western side of the patio, as well as an entry door and additional windows, is sheltered by a shallow gable that projects from the elevation and a gabled wing extends from the rear of the dwelling. A wide, brick chimney rises from the forward slope of the roof (Figure 66).

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<sup>25</sup> Google Maps, "305 Murray Street, Goldsboro, NC," Image capture: Jun 2012, [www.google.com/maps](http://www.google.com/maps), accessed Nov. 1, 2019.



Figure 53: House, 903 North George Street, Looking West.



Figure 54: House, 905 North George Street, Looking West.



Figure 55: House, 907 North George Street, Looking West.



Figure 56: House, 909 North George Street, Looking West.



Figure 57: House, 306 Murray Street, Looking South.



Figure 58: House, 308 Murray Street, Looking South.



Figure 59: House, 310 Murray Street, Looking South.



Figure 60: House, 904 North Virginia Street, Looking East.



Figure 61: House, 902 North Virginia Street, Looking East.



Figure 62: House, 307 Brownrigg Street, Looking North.



Figure 63: House, 305 Brownrigg Street, Looking North.



Figure 64: House, 305 Murray Street, Looking North.



Figure 65: House, 307 Murray Street, Looking North.



Figure 66: House, 309 Murray Street, Looking North.



## Block E

This block began with 21 lots but now contains only 15 due to reconfiguration and the combination of five lots at the northwest corner of the block. Many of the buildings on this block, which date from 1900 through 1967, have been demolished including dwellings on Lots 1, 2, 3, 9 and on the reconfigured lots associated with original Lots 17 through 21. The large parcel at the northwest corner contains a commercial building that was constructed in 1967.

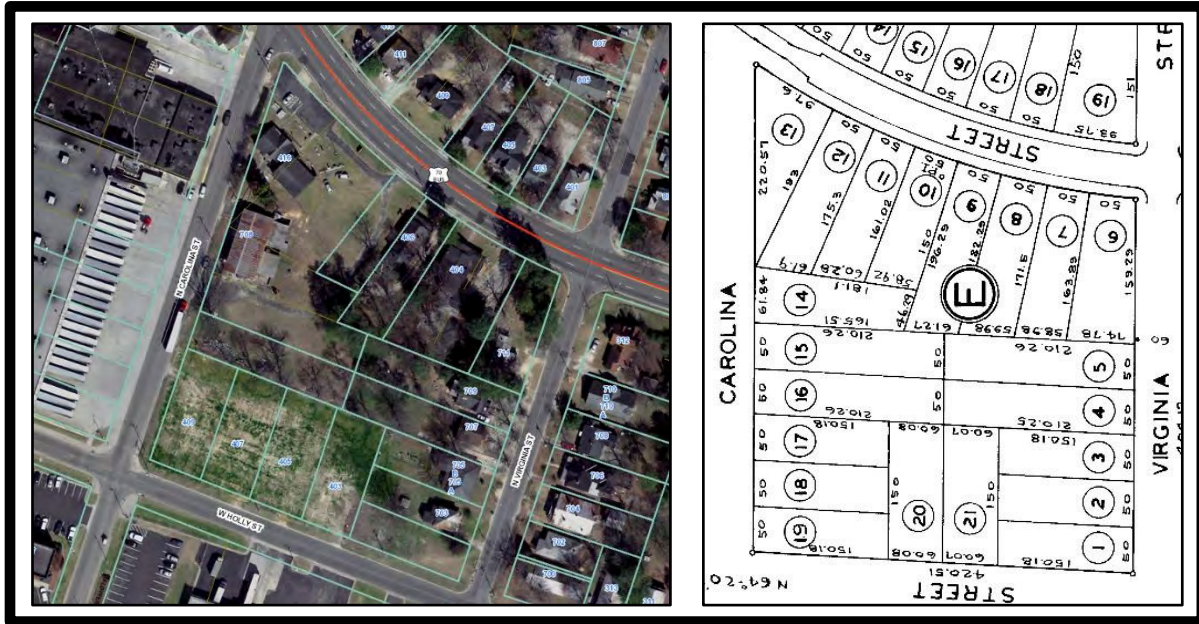


Figure 67: 2008 Aerial Image Compared with Block E of the 1926 Plat (Wayne County GIS and Wayne County Register of Deeds Book 2, page 83).

### Vacant

701 North Virginia Street

Possibly never developed, vacant prior or 1993.

### Vacant

703 - 705 North Virginia Street

Dwellings demolished ca. 2008.

### House

707 North Virginia Street

Ca. 1940, one-story, brick Minimal Traditional-style dwelling with a front-gabled, asphalt shingle roof and a small, pedimented porch supported by decorative iron posts. The porch shelters an entry door with a decorative metal screen and the patio of the porch, which is wrapped by a decorative metal balustrade, extends south beyond the pediment. Paired, one-over-one, vinyl sash windows flank the porch on the south while a single one-over-one, vinyl sash

window flanks the porch on the north. There is a small vent in the center of the gable and an interior brick chimney rises from the roof (Figure 68).

#### House

709 North Virginia Street

Ca. 1940, one-story, Minimal Traditional-style dwelling with a side-gabled, asphalt shingle roof; aluminum siding; a brick foundation; a small, pedimented front porch; and an integral side porch. The front porch is supported by decorative iron posts, shelters an entry door, and is asymmetrically flanked by eight-over-eight, wooden sash windows while the side porch is supported by thin posts on brick pedestals and shelters a window and side door. An exterior brick chimney rises from the side porch through the ridge of the roof (Figure 69).

#### House

711 North Virginia Street

Ca. 1940, one-story, Minimal Traditional-style dwelling with a side-gabled, asphalt shingle roof; a stuccoed exterior; and a small, pedimented porch. The porch is supported by wooden posts and shelters an entry door that is boarded over. It is flanked by a paired, six-over-six, vinyl sash window and a boarded over window on the south and by a three-part, picture window on the north. Recessed from this section is a side-gabled wing that also features a boarded over entry door. An interior brick chimney rises from the main block of the dwelling and a metal flue rises from the wing (Figure 70).

#### House

404 West Grantham Street

Situated on a double lot – Lots 7 and 8 – this ca. 1930, brick dwelling features a complex, asphalt shingle roof composed of hipped and gabled sections. An integral, full-width porch spans the façade and shelters four bays that are filled – from east to west – with a tripled window, a paired window, an entry door with sidelights, and a paired window. All of the windows contain wooden sashes with multiple lights over one light. Above the first bay is a section of flat roof that is encompassed by a decorative metal railing. To the west, a gable peeks from the forward slope of the roof and above the third and fourth bays, the porch roof is gabled. Additionally, the porch extends west, creating a side-gabled porte-cochere, and side-gabled dormers project from the side slopes of the main roof. The gables and dormers are covered with siding that may be vinyl and the gables contain a covered opening and a linear, four-light window, respectively. Two brick chimneys rise from the roof and the eaves are finished with exposed rafter tails (Figure 71).

A garage with a side-gabled, asphalt shingle roof; wooden weatherboard siding; and multi-light over single light windows stands to the east of the dwelling.

#### Vacant

404 West Grantham Street

Dwelling demolished ca. 2015.

### Commercial Building

416 West Grantham Street

Ca. 1950, one-story, commercial building composed of two sections. The main section has a side-gabled, asphalt shingle roof and a stone veneered façade with other sections covered by vertical wooden panels. Its façade is dominated by an off-center, forward-facing gable that is lit by large multi-pane windows and flanked by recessed porches. The porch on the east is supported by a square, wooden or metal column, while the porch on the west is supported by stacked stone piers and shelters the main entrance. The second section of the building is also side gabled and is taller than the first. It is completely clad with vertical wooden panels and has an integral, full-width porch that is supported by square, wooden or metal columns and shelters a paneled entry door and a multi-pane, vinyl window. A garage door and a six-over-six, vinyl sash window are present on the west elevation (Figure 72).

South of the building is a ca. 1965 warehouse with a front-gabled, metal roof and ribbed metal elevations. Its south elevation is open and small enclosed office is present near its southeast corner (Figure 73).

### Vacant

403 – 409 West Holly Street

Dwellings demolished between 2006 and 2008 (See Figure 11).



Figure 68: House, 707 North Virginia Street, Looking Northwest.



Figure 69: House, 709 North Virginia Street, Looking West.



Figure 70: House, 711 North Virginia Street, Looking West.



Figure 71: House, 404 West Grantham Street, Looking Southwest.



Figure 72: Commercial Building (Office and Showroom), 416 West Grantham Street, Looking South.



Figure 73: Commercial Building (Garage), 416 West Grantham Street, Looking Northeast.

## Block F

This block began with 19 lots but now contains 17 due to various combinations and divisions of lots. Besides from a parking lot at the northwest corner, the block is filled with dwellings that according to the Wayne County Tax Department date from 1900 through 1960, with earlier properties concentrated along West Grantham Street and later properties along North Virginia and Brownrigg Streets. Only two lots have lost dwellings, Lots 4 and 14.



Figure 74: 2008 Aerial Image Compared with Block F of the 1926 Plat (Wayne County GIS and Wayne County Register of Deeds Book 2, page 83).

### House

805 North Virginia Street

Ca. 1930, one-story, brick, Craftsman-style dwelling with a front-gabled, asphalt shingle roof and a front-gabled porch supported by thin posts on brick pedestals. The porch shelters an entry door flanked by paired, three-over-one, vertical-light, wooden sash windows. The gable is filled with vertical siding and exterior brick chimneys rises, from the north and south slopes of the roof. Exposed rafter tails are present below the eave of the roof (Figure 75).

### House

807 North Virginia Street

Ca. 1930, one-story dwelling with a front-gabled, asphalt shingle roof; wooden weatherboard siding; and a brick foundation. The façade is composed of a hip-roofed porch and a forward-facing gable. The porch is supported by slender Tuscan columns and shelters an entry door flanked on the south by six-over-one, wooden sash windows, and the forward-facing gable contains a pair of six-over-one, wooden sash windows. Two brick chimneys rise from the roof and gallows brackets and exposed rafter tails are present below the eave of the roof (Figure 76).

House

809 North Virginia Street

Ca. 1950, one-story dwelling with a side-gabled, asphalt shingle roof; asbestos siding; a brick foundation; and a hip-roofed porch. The porch is supported by decorative metal posts and shelters an entry door flanked on the south by a six-over-six, wooden sash window. North of the porch is a large, multi-pane, wooden, fixed-sash window. A centrally placed chimney rises from the roof and exposed rafter tails are present below the eaves (Figure 77).

Vacant

811 North Virginia Street

Dwelling demolished ca. 2018 (Figure 78).

House

813 North Virginia Street

Ca. 1960, one-story, brick, Minimal Traditional-style dwelling with a side-gabled, asphalt shingle roof and a flat-roofed porch. The porch is supported by square, wooden columns and shelters an entry door flanked by paired, six-over-six, wooden sash window. An exterior chimney rises from north elevation of the dwelling and an interior chimney rises from the rear slope of the roof (Figure 79).

House

404 Brownrigg Street

Ca. 1950, one-story, brick, Minimal Traditional-style dwelling with a hipped, asphalt shingle roof and an integral porch supported by decorative iron posts. The porch shelters an entry door flanked by two-over-two, horizontal-pane, wooden sash windows. An interior chimney rises from the roof (Figure 80).

House

406 Brownrigg Street

Ca. 1950, one-story dwelling with a side-gabled, asphalt shingle roof; vinyl siding; and a brick foundation. The façade is composed of a shed-roofed porch and a forward-facing gable. The porch is supported by thin, wooden columns and shelters a side-facing entry door and an eight-over-eight, wooden sash window. An eight-over-eight, wooden sash window lights the forward-facing gable as well. A brick chimney rises from the rear slope of the roof (Figure 81).

House

408 Brownrigg Street

Ca. 1950, one-story, brick, Minimal Traditional-style dwelling with a side-gabled, asphalt shingle roof and a small, pedimented front porch. The pediment is supported by decorative iron posts with an iron balustrade, shelters an entry door, and is flanked on the east by one six-over-six, wooden sash window and on the west by two similar windows, all of which have metal



awnings. Recessed from the façade is a small, side-gabled wing with an additional entry door (Figure 82).

#### Parking Lot

419 West Grantham Street

A parking lot owned by the Franklin Baking Company occupies lots 9-11 of Block F of the original plat (Figure 83).

#### House

417 West Grantham Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, asphalt shingle roof; parged exterior elevations; a brick foundation; and an off-center, front-gabled porch supported by thin, tuned posts. The porch shelters an entry door flanked on the east by a three-over-one, vertical-pane, wooden sash window and a similar window exists west of the porch. Horizontally applied wooden panels fill the gables and a brick chimney rises from the east elevation (Figure 84).

#### House

415 West Grantham Street

Ca. 1930, one-story dwelling with a front-gabled, asphalt shingle roof; vinyl siding; and a brick foundation. A shed-roofed porch supported by thin wooden posts that appears to have replaced an earlier porch spans the façade. It shelters two entry doors flanked by six-over-six, wooden sash windows. Two brick chimneys rise from the roof (Figure 85).

#### Vacant

411 West Grantham Street

Dwelling demolished ca. 2018 (Figure 86).

#### House

409 West Grantham Street

Ca. 1930, one-story, brick dwelling with a side-gabled, asphalt shingle roof. The façade is composed, from west to east, of a side-gabled porch; a two-over-two, horizontal-pane, wooden sash window; an exterior, brick chimney with rusticated stone details; an arched entry door sheltered by a shallow, shed roof; a forward-facing gable with a three-part picture window; and a two-over-two, horizontal-pane, wooden sash window. The side-gabled porch shelters an entry door and two-over-two, horizontal-pane, wooden sash window on the west elevation, and a patio wraps the southwest corner of the dwelling from the side-gabled porch to the main entry door. At its center is an integrated flower bed. An interior brick chimneys rise from the center of the roof and an additional entry door sheltered by a small pediment exists on the east elevation. The house is larger and more complex than others in the neighborhood and stands on a portion of Lot 15 and all of Lot 16 in Block F of the original plat (Figure 87).

### House

407 West Grantham Street

Ca. 1940, one-story, brick dwelling with a front-gabled, asphalt shingle roof and an off-center, asymmetrical gable that projects from the façade. An exterior chimney shaped like a tall isosceles triangle rises through the peak of the projecting gable and is flanked by small one-over-one windows. West of the west window is the entry door, which has a triangular top and is sheltered by small peaked roof supported by hefty gallows brackets. Similar brackets are present in both gables as well. A shed-roofed porch that is greatly deteriorated fills the corner created between the main block of the dwelling and the projecting gable. It is supported by metal posts and shelters paired one-over-one, vinyl sash windows on the façade and a small one-over-one window on the west elevation. Two brick chimneys rise from the main block of the dwelling (Figure 88).

### House

405 West Grantham Street

Ca. 1930, one-story, brick dwelling with a side-gabled, asphalt shingle roof. The façade is composed, from west to east, of a flat-roofed porch supported by cast iron posts; a large, forward-facing gable; and a recessed side porch that is accessed through an arched doorway. The porch shelters a six-over-six, wooden sash window and a small entry bay with arched openings on its south and west sides. An entry door is located on the east elevation of the entry bay. A small forward-facing gable rises above the bay and porch roof, hinting that the roof may be a later addition. The large forward-facing gable is bisected by an exterior chimney flanked by small six-over-six, wooden sash windows and a concrete patio wraps the façade and southeast corner of the dwelling. A metal flue rises from the center of the roof (Figure 89).

### House

403 West Grantham Street

Ca. 1930, one-story, brick, Craftsman-style dwelling with a side-gabled, asphalt shingle roof and a pedimented entry porch supported by decorative iron posts on brick pedestals. The porch shelters an entry door and is flanked by paired, three-over-one, vertical-pane, wooden sash windows. Also, though the porch only shelters one bay, its patio spans the width of the dwelling and brick pedestals at the corners hint that the porch may have originally been full width. A brick chimney rises from the east elevation of the dwelling and exposed rafter tails are present below the eave of the roof (Figure 90).

### House

401 West Grantham Street

Ca. 1930, one-story, parged brick, Craftsman-style dwelling with a hipped, asphalt shingle roof that is interrupted at the front by a full-width, integral porch with an off-center, forward-facing gable and a side-facing gable. The porch is supported by square posts on parged pedestals and shelters a symmetrical façade with an entry door flanked by paired, three-over-one, vertical-pane, wooden sash windows. The forward and side-facing gables are filled with German lap siding and the eaves feature exposed rafter tails. An exterior chimney rises along the east

elevation. A Google Streetview image shows that the dwelling was parged after April 2019 and scaffolding was observed along the west elevation during the survey (Figure 91).



Figure 75: House, 805 North Virginia Street, Looking West.



Figure 76: House, 807 North Virginia Street, Looking West.



Figure 77: House, 809 North Virginia Street, Looking Northwest.



Figure 78: House, 811 North Virginia Street, Looking West.



Figure 79: House, 813 North Virginia Street, Looking West.



Figure 80: House, 404 Brownrigg Street, Looking South.



Figure 81: House, 406 Brownrigg Street, Looking South.



Figure 82: House, 408 Brownrigg Street, Looking South.



Figure 83: Parking Lot, 419 West Grantham Street, Looking Northeast.



Figure 84: House, 417 West Grantham Street, Looking North.





Figure 85: House, 415 West Grantham Street, Looking East.



Figure 86: House, 411 West Grantham Street, Looking Northeast.



Figure 87: House, 409 West Grantham Street, Looking East.



Figure 88: House, 407 West Grantham Street, Looking East.



Figure 89: House, 405 West Grantham Street, Looking East.



Figure 90: House, 403 West Grantham Street, Looking North.



Figure 91: House, 401 West Grantham Street, Looking North.

## Blocks G and H

Block G began with 14 lots while Block H began with 12. Today the blocks contain the same number of parcels though some reconfiguration has occurred. The buildings that occupy Block G were constructed between 1900 and 1960 according to the Wayne County Tax Department. Two dwellings, on Lots 1 and 8, have been or are planned to be demolished. Block H contains nine dwellings, one of which has a construction date of 1900, seven of which have construction dates in the 1940s and 1960s, and one of which was constructed in 2004.

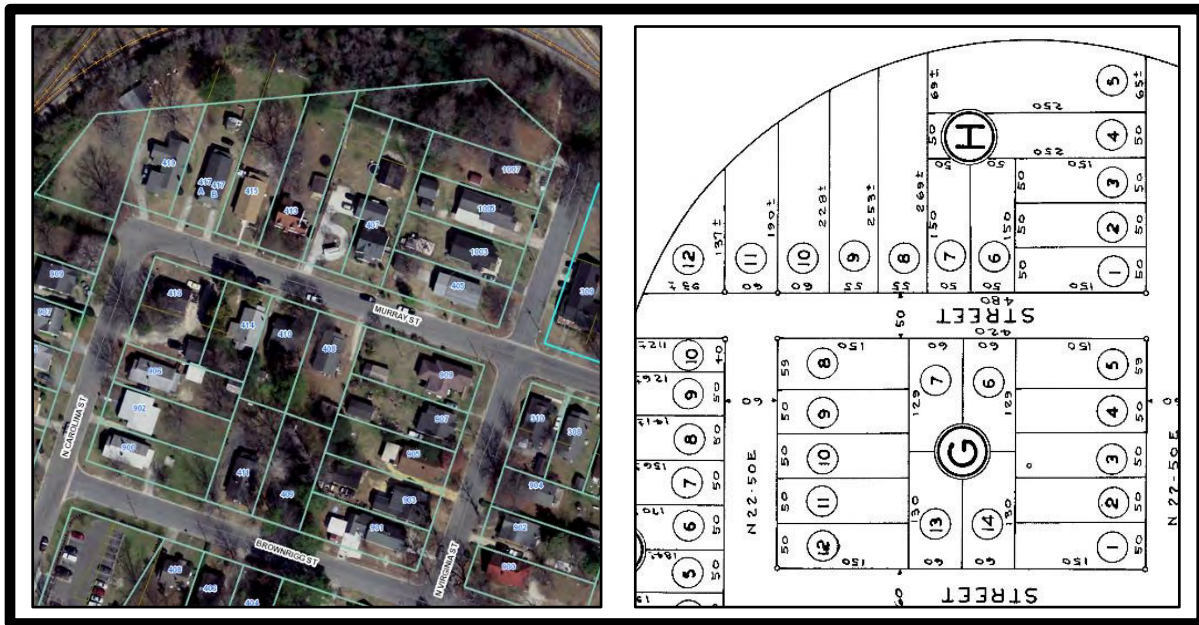


Figure 92: 2008 Aerial Image Compared with Blocks G and H of the 1926 Plat (Wayne County GIS and Wayne County Register of Deeds Book 2, page 83).

### Block G

#### Vacant

901 North Virginia Street

Dwelling demolished around 2018.

#### House

903 North Virginia Street

Ca. 1950, one-story, brick, Minimal Traditional-style dwelling with a side-gabled, asphalt shingle roof and two rear-gabled wings. The façade of the dwelling is composed, from south to north, of a partial-width, shed-roofed porch; a slightly projecting, forward-facing gable; and a one-over-one, vinyl sash window that is typical of the dwelling. The porch shelters a window, the base of a brick chimney that rises through the porch roof, and a six-panel entry door while the gable contains paired windows below a rectangular vent. An additional brick chimney rises from the peak of the roofline (Figure 93).

### House

905 North Virginia Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, asphalt shingle roof; wide, wooden weatherboard siding; a brick foundation; and a wide, front-gabled porch that is off-center but flush with the north slope of the main roof. The porch is supported by decorative iron posts on brick pedestals and shelters an entry door flanked on the south by paired four-over-one, vertical-light, wooden sash windows and on the north by a single similar window. The dwelling is finished with exposed rafter tails and gallows brackets, and two interior, brick chimneys rise from the roof (Figure 94).

### House

907 North Virginia Street

Ca. 1950, one-story dwelling with a side-gabled, asphalt shingle roof; vinyl siding; a brick foundation; a shed-roofed, rear section; and a small, front-gabled porch. The porch is supported by decorative iron posts, shelters an entry door, and is flanked by two-over-two, wooden sash windows. No chimneys were observed (Figure 95).

### House

909 North Virginia Street

Ca. 1960, one-story dwelling with a hipped, asphalt shingle roof with hipped, side and rear wings and a small, gabled front porch. The porch is supported by decorative iron posts and shelters an original entry door that is flanked on the north by a two-over-two, horizontal-pane, wooden sash window. A second two-over-two, horizontal-pane, wooden sash window is present south of the porch and a pair of such windows are present on the east elevation of the side wing, which is recessed from the primary façade. A second entry door and small stoop exists on the south elevation of the main block as well as a small, two-over-two, horizontal-pane, wooden sash window. A brick chimney rises from the south slope of the main roof (Figure 96).

### House

408 Murray Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, asphalt shingle roof; aluminum siding; a brick foundation; and a wide, front-gabled porch that is off-center but flush with the west slope of the main roof. The porch is supported by decorative iron posts on brick pedestals and shelters an original entry door flanked on the east by paired four-over-one, vertical-light, wooden sash windows and on the west by a single similar window. The dwelling is finished with exposed rafter tails and gallows brackets, and an interior brick chimneys rises from the east slope of the roof (Figure 97).

### House

410 Murray Street

Ca. 1950, one-story dwelling with a side-gabled, asphalt shingle roof; asbestos siding; and a concrete block foundation. A section of the roof extends over the eastern half of the façade and,

in conjunction with a concrete stoop, creates a shallow, porch-like space. The roof shelters a multi-pane, vinyl sash window and entry door that are surrounded by a ribbon of horizontal, wooden paneling. There are two six-over-six, vinyl sash windows to the west of the porch and a brick chimney rises from the rear slope of the roof (Figure 98).

House

414 Murray Street

Ca. 1930, one-story, brick dwelling with a front-gabled, standing seam metal roof and a front-gabled porch. The porch is supported by thin, battered box columns wrapped with vinyl siding on brick pedestals and shelters an original entry door. The door is flanked by paired three-over-three, vertical-pane, wooden sash windows that are partially sheltered by the porch. The gables are filled with vinyl siding and an exterior brick chimney rises from the east elevation of the dwelling (Figure 99).

Vacant

416 Murray Street

Dwelling demolished ca. 2019.

House

906 North Carolina Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, asphalt shingle roof; wooden weatherboard siding; a brick foundation; and a wide, front-gabled porch that is off-center but flush with the south slope of the main roof. The porch is supported by battered box columns on brick pedestals and shelters an original entry door flanked on the north by paired six-over-six, vinyl sash windows and on the west by a single similar window. A long, wooden ramp accesses the porch north of a set of centrally placed concrete steps. The dwelling is finished with exposed rafter tails and gallows brackets, and two interior, brick chimneys rise from the roof. Some four-over-one, vertical-pane, wooden sash windows, individual and paired, remain on the side elevations as well (Figure 100).

House

902 North Carolina Street

Ca. 1940, one-story, concrete block dwelling with a side-gabled, standing seam metal roof. The façade is composed of, from north to south, a six-over-six, vinyl sash window, an entry door, and a multi-pane, picture window. A side-gabled, vinyl clad addition wraps the southeast corner of the dwelling. No chimneys were observed (Figure 101).

House

900 North Carolina Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, standing seam metal roof; wooden weatherboard siding; a brick pier with concrete block infill foundation; and a wide, front-gabled porch that is off-center but flush with the south slope of the main roof. The porch is

supported by battered box columns on brick pedestals and shelters an original entry door flanked on the north by paired four-over-one, vertical-pane, wooden sash windows and on the south by a single similar window. It appears that the deck of the original porch has been removed and replaced with a small, concrete stoop in front of the entry door. The dwelling is finished with exposed rafter tails and gallows brackets, and two interior, brick chimneys rise from the roof (Figure 102).

House

411 Brownrigg Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, asphalt shingle roof; vinyl siding; a brick foundation; and a wide, front-gabled porch that is off-center but flush with the east slope of the main roof. The porch is supported by decorative iron posts on brick pedestals and shelters an original entry door flanked on the west by paired four-over-one, vertical-pane, wooden sash windows and on the east by a single similar window. The dwelling is finished with exposed rafter tails and gallows brackets, and two interior, brick chimneys rise from the roof (Figure 103).

House

409 Brownrigg Street

Ca. 1950, one-story, brick dwelling with a hipped, asphalt shingle roof, deep eaves, and a small entry stoop. This accesses an original entry door and is flanked on the west by a two-over-two, horizontal-pane, wooden sash window and on the east by a three-part, picture window. Two brick chimneys rise from the roof (Figure 104).



## Block H

### House

405 Murray Street

Ca. 1960, one-story, brick Ranch-style dwelling with a side-gabled, asphalt shingle roof. A small, side-gabled wing telescopes from the west elevation of the dwelling and contains paired, two-over-two, horizontal-pane, wooden sash windows, which are typical of the dwelling. East of this section, the façade is composed of a set of paired windows; a small, brick-lined stoop that accesses an entry door; an individual window; and a paired window. An interior brick chimney rises from the rear slope of the roof (Figure 105).

### House

1003 North Virginia Street

Ca. 2000, one-story dwelling with a front-gabled, asphalt shingle roof; vinyl siding; a brick foundation; and a small, front-gabled porch. The symmetrically placed porch is supported by turned posts and shelters an off-center entry door. On the south, the porch is flanked by a six-over-six, vinyl sash window. A side-gabled porch extends from the south elevation of the dwelling (Figure 106).

### House

1005 North Virginia Street

Ca. 1960, one-story, brick dwelling with a front-gabled, asphalt shingle roof and a front-gabled porch that is off-center but flush with the south slope of the main roof. The porch is supported by decorative metal posts and shelters an entry door flanked on the south by a two-over-two, horizontal-pane, wooden sash window. A similar window exists on the north side of the porch. An interior brick chimney rises from the north slope of the roof. A flat-roofed carport extends from the south elevation of the dwelling and a vinyl clad addition extends from the rear of the dwelling. At least two vinyl clad sheds stand behind the dwelling as well (Figure 107).

### House

1007 North Virginia Street

Ca. 1960, one-story, brick dwelling with a front-gabled, asphalt shingle roof and a front-gabled porch that is off-center but flush with the south slope of the main roof. The porch is screened in and shelters an entry door that is flanked on the south by a six-over-six, vinyl sash window. A similar window exists on the north side of the porch and an interior brick chimney rises from the north slope of the roof (Figure 108).

### House

407 Murray Street

Ca. 1950, one-story, Colonial Revival-style dwelling with a side-gabled, asphalt shingle roof; vinyl siding; and a brick foundation. An off-center, forward-facing gable rises from the façade and a slightly staggered, front-gabled porch projects from the larger gable. The porch is

supported by fluted columns and shelters a six-over-six, vinyl sash window and a multi-light entry door with a fluted surround. A small, circular, fanlight adorns the porch gable. A six-over-six, vinyl sash window lights the façade east of the porch and an interior brick chimney rises from the forward slope of the roof. A side-gabled garage is connected to the rear of the dwelling by a gabled hyphen (Figure 109).

#### House

413 Murray Street

Ca. 1940, one-and-one-half story, parged, Minimal Traditional-style dwelling with a side-gabled, asphalt shingle roof and a small, pedimented entry porch. The porch is supported by square wooden posts, shelters a six-panel entry door, and is flanked by paired, six-over-six, wooden sash windows. Two front-gabled dormers project from the forward slope of the roof and contain one-over-one, vinyl sash windows. While the gable of the porch is filled with wooden weatherboard siding, the gables of the dormers are filled with a wider siding, possibly asphalt shingle, and the space around the windows with vinyl siding. Two parged chimneys rise from this portion of the dwelling and a small, side-gabled wing that is clad with vinyl siding and contains a one-over-one, possibly metal-sash window and an entry door extends from the east elevation (Figure 110).

#### House

415 Murray Street

Ca. 1930, one-story, Craftsman-style dwelling with a front-gabled, asphalt shingle roof; vinyl siding; a brick foundation; and a wide, front-gabled porch that is off-center but flush with the east slope of the main roof. The porch is supported by decorative iron posts on brick pedestals and shelters an original entry door flanked on the west by paired four-over-one, vertical-pane, wooden sash windows and on the east by a single similar window. Its originally wooden deck has been replaced with a concrete slab and concrete blocks fill the space between the brick pedestals. The dwelling is finished with exposed rafter tails and gallows brackets and does not appear to have any chimneys (Figure 111).

#### House

417 Murray Street

Ca. 1950, one-story dwelling with a front-gabled, asphalt shingle roof; vinyl siding; a parged foundation; and a hip-roofed porch. The porch is supported by Tuscan columns and shelters two entry doors flanked by eight-over-eight, vinyl sash windows. An interior brick chimney rises from the ridge of the roof (Figure 112).

#### House

419 Murray Street

Ca. 1930, one-story dwelling with a front-gabled main block and two intersecting sections. The first of the sections has a shallow, front gable and wraps the southwest corner of the dwelling. It is composed of an integral porch supported by decorative metal posts, which shelters paired, six-over-six, wooden sash windows and an entry door. The façade of the main block contains

tripled, six-over-six, wooden sash windows that are sheltered by a shallow shed roof. A side-gabled wing extends from the west elevation of the dwelling and two brick chimneys rise from the roof (Figure 113).



Figure 93: House, 903 North Virginia Street, Looking West.



Figure 94: House, 905 North Virginia Street, Looking Northwest.



Figure 95: House, 907 North Virginia Street, Looking West.



Figure 96: House, 909 North Virginia Street, Looking Northwest.



Figure 97: House, 408 Murray Street, Looking Southwest.



Figure 98: House, 410 Murray Street, Looking Southwest.



Figure 99: House, 414 Murray Street, Looking Southwest.



Figure 100: House, 906 North Carolina Street, Looking East.



Figure 101: House, 902 North Carolina Street, Looking East.



Figure 102: House, 900 North Carolina Street, Looking Northeast.





Figure 103: House, 411 Brownrigg Street, Looking Northeast.



Figure 104: House, 409 Brownrigg Street, Looking Northeast.



Figure 105: House, 405 Murray Street, Looking North.



Figure 106: House, 1003 North Virginia Street, Looking Northwest.



Figure 107: House, 1005 North Virginia Street, Looking Northwest.



Figure 108: House, 1007 North Virginia Street, Looking Southwest.



Figure 109: House, 407 Murray Street, Looking North.



Figure 110: House, 413 Murray Street, Looking North.



Figure 111: House, 415 Murray Street, Looking Northeast.



Figure 112: House, 417 Murray Street, Looking North.



Figure 113: House, 419 Murray Street, Looking North.

## Blocks I and J

Blocks I and J were originally platted for residential or small commercial uses with a combined 23 lots. Over time, the lots were acquired by the Franklin Baking Company and used to grow its commercial baking facility.

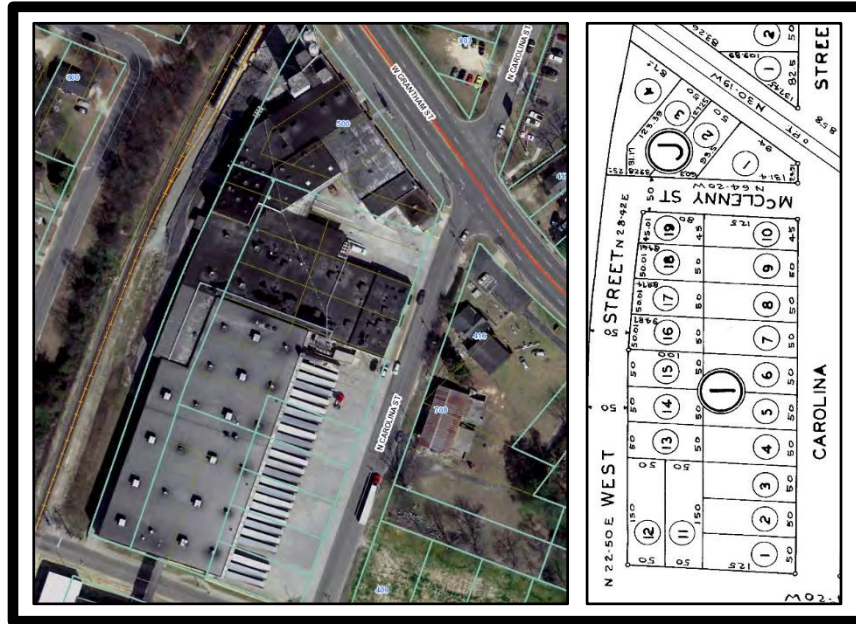


Figure 114: 2008 Aerial Image Compared with Blocks I and J of the 1926 Plat (Wayne County GIS and Wayne County Register of Deeds Book 2, page 83).

### Commercial Complex 500 Grantham Street

The original portion of the Franklin Baking Company complex is a ca. 1947, one-story, brick industrial building that measures roughly 45,000 square feet. Its façade is composed of four sections, from east to west: an office wing with a ca. 1950s façade; a linear section with two entry doors, a vehicular door, and eight bricked-in windows; a gabled section with an entry door flanked by tall vehicular doors; and a linear section with two bricked-in loading bays. A two-story tower with a flat roof rises above the bricked-in bays and two tall silos stand to its west. The façade has little architectural detail aside from brick pilasters that flank the gabled section and the bricked-in bays and brick quoins that flank the vehicular doors and bricked-in bays in this area. A taller tower stands roughly behind the smaller one and displays advertising for two of the bakery's brands – Sunbeam and Nature's Own. Three additional buildings extend from the rear of the original building. These include a ca. 1969, roughly 36,000 square foot building; a ca. 1981, 9,400 square foot building; and a ca. 1998, roughly 60,000 square foot building. The last addition contains numerous loading docks suited for semi-trailers along its east elevation, and an elevated crosswalk extends from its rear elevation connecting it with another building on the south side of West Holly Street. The railroad runs along the west elevation of the building (Figures 115 and 116).



Figure 115: Franklin Baking Company, 500 West Grantham Street, Looking South.



Figure 116: Franklin Baking Company, 500 West Grantham Street, Looking North.



## Block K

Block K retains ten lots as originally platted though the widths of some lots appear to have changed since their original conception. Three of the ten lots appear to have never been developed while Lots 2 and 5 lost dwellings in the early 2000s. The five remaining dwellings were constructed between 1900 and 1950 according to the Wayne County Tax Department.

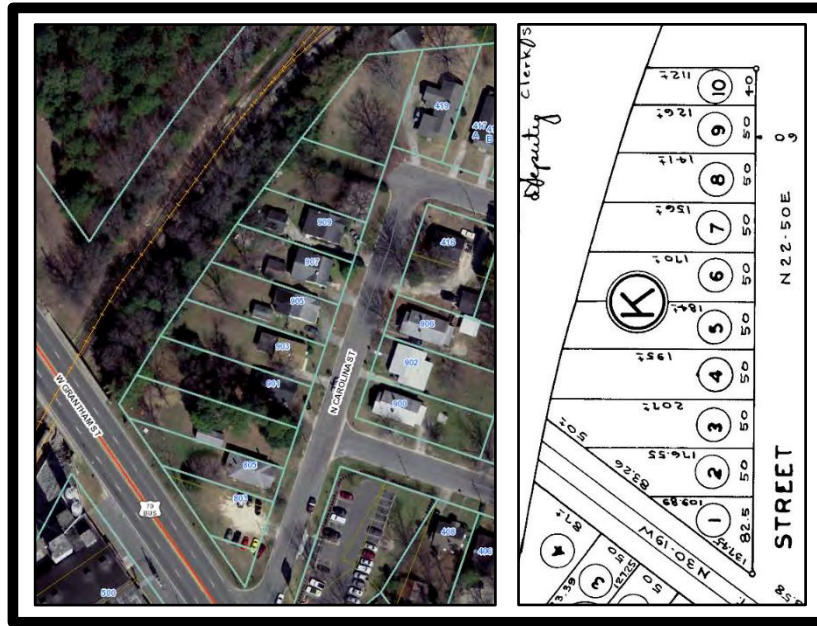


Figure 117: 2008 Aerial Image Compared with Block K of the 1926 Plat (Wayne County GIS and Wayne County Register of Deeds Book 2, page 83).

### Parking Lot

801 - 803 North Carolina Street

The dwelling that stood on 803 North Carolina Street was demolished ca. 2005 (Figure 118).

### House

805 - 807 North Carolina Street

Ca. 1930, one-story, brick, Craftsman-style dwelling with a hipped, asphalt shingle roof and a front-gabled porch supported by decorative iron posts. The porch shelters an entry door flanked by paired, three-over-one, vertical-pane, wooden sash windows. The front gable is filled with wooden weatherboard siding and the eave of the roof is finished with exposed rafter tails. Two brick chimneys rise from the roof (Figure 119).

### Vacant

807 North Carolina Street

Sideyard of 805 North Carolina Street.

Vacant

901 North Carolina Street

Dwelling demolished ca. 2018 (Figure 120).

House

903 North Carolina Street

Ca. 1961, one-story, brick dwelling with a front-gabled, asphalt shingle roof and an off-center, front-gabled porch supported by decorative iron posts. Through the porch gable projects forward, the porch is partially recessed with the entry door on the resulting side elevation. The porch also shelters a screened window. North of the porch is a second screened window that is shaded by a metal awning. A similar awning wraps the porch as well. An interior brick chimney rises from the roof (Figure 121).

House

905 North Carolina Street

Ca. 1950, one-story Minimal Traditional-style dwelling with a gable-and-wing form, an asphalt shingle roof, asbestos siding, and a brick foundation. A small porch supported by decorative iron posts is nestled in the corner created by the gable and wing and shelters an entry door on the side elevation and an eight-over-eight, vinyl sash window on the front elevation. A similar window lights the gable and a simple scallop detail adorns the gable's eave. A brick chimney rises from the ridge of the roof and a shed-roofed wing extends from the rear (Figure 122).

House

907 North Carolina Street

Ca. 1930, one-story dwelling with a side-gabled, asphalt shingle roof and a large, rear-gabled wing. The dwelling is clad with vinyl siding, rests on a brick foundation, and has a small, pedimented entry porch. The porch is supported by simple square posts and shelters an entry door. It is flanked on the north by a paired and an individual six-over-six, vinyl sash window. A brick chimney rises from the ridge of the roof (Figure 123).

House

909 North Carolina Street

Ca. 1950, one-story, brick, Minimal Traditional-style dwelling with a gable-and-wing form and an asphalt shingle roof. A small porch supported by turned wooden posts is nestled in the corner created by the gable and wing and shelters an entry door and a large, single-pane, vinyl sash window. A one-over-one, vinyl sash window lights the gable. The eave of the porch is finished with a simple scallop detail and a brick chimney rises from the ridge of the roof. The gable-and-wing form slopes into a large, shed-roofed section at the rear of the dwelling (Figure 124).

Vacant

911 North Carolina Street

Sideyard of 909 North Carolina Street.



Figure 118: Parking Lot, 801 - 803 North Carolina Street, Looking Southwest.



Figure 119: House, 805 - 807 North Carolina Street, Looking West.



Figure 120: Vacant, 901 North Carolina Street, Looking West.



Figure 121: House, 903 North Carolina Street, Looking West.



Figure 122: House, 905 North Carolina Street, Looking West.



Figure 123: House, 907 North Carolina Street, Looking West.



Figure 124: House, 909 North Carolina Street, Looking West.

## Historical Background

In the late nineteenth century, Goldsboro experienced a boom in population due to the continued development of the railroad in the area. By 1900, both the Atlantic Coast Line Railroad and the Norfolk Southern Railroad passed through the city with lines running from east to west and north to south. At this point in time, the uninhabited area that became Oak Heights was bound by Holly Street, which was before 1913 known as Boundary Street, George Street, and two branches of the Atlantic Coast Line Railroad. Lying just inside the city limits, the bounding streets show no evidence of dwellings or businesses except for a no longer extant structure at the intersection of George Street and the east-west railroad line (Figure 125). A 1915 map, however, does denote the area as Oak Heights, though without any additional detail of streets or buildings (Figure 126).

An April 1925 deed indicates the property was a part of the estate of E. B. Borden.<sup>26</sup> Borden was a banker and businessman who was involved in the establishment of Wayne Cotton Mills in 1895 and the Borden Manufacturing Company (WY0730) in 1900. His brother, W. H. Borden, and sons, Frank K. Borden, John L. Borden, and Edwin B. Borden, Jr., were also involved in the establishment of the Borden Manufacturing Company. The company's facility, which is still extant, is located roughly a half a mile east of the Oak Heights neighborhood at the corner of Atlantic Avenue and North William Street and was constructed on land purchased from Arnold and Eunice Borden, E. B. Borden's son and daughter-in-law. Land for the Wayne Cotton

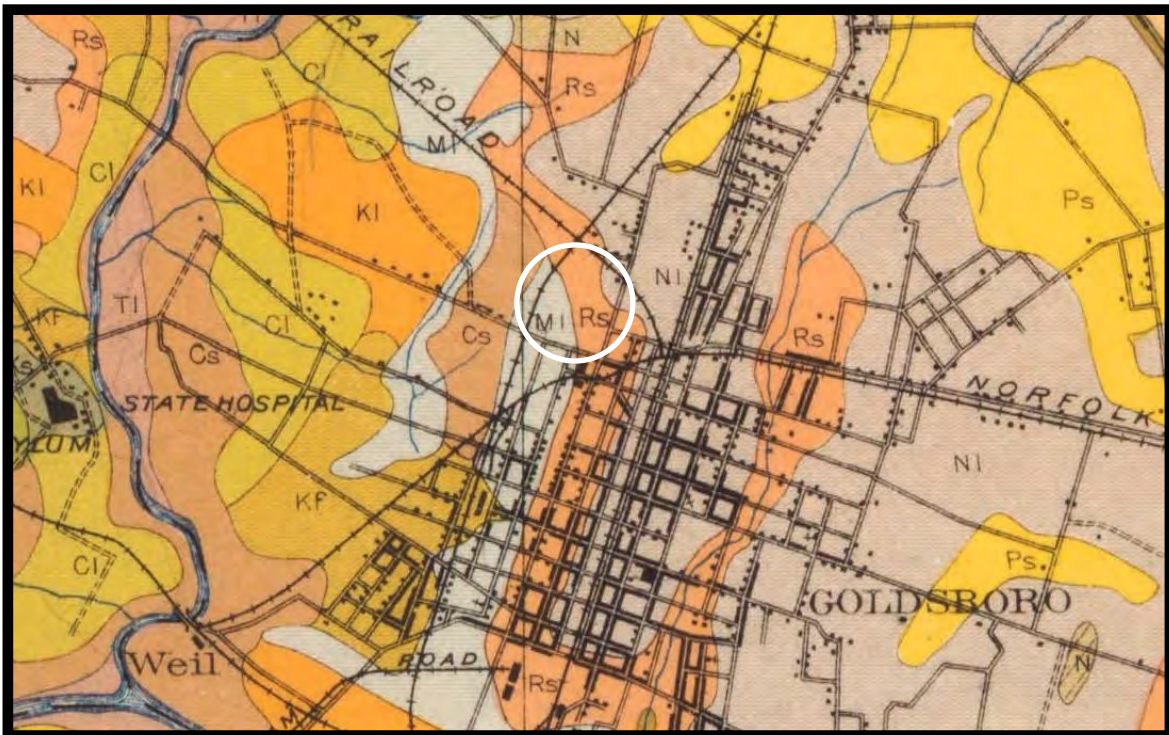


Figure 125: 1916 Soil Survey of Wayne County, North Carolina with Future Location of Oak Heights Neighborhood Circled (North Carolina Maps).

<sup>26</sup> Wayne County Deed Book 177, page 88.

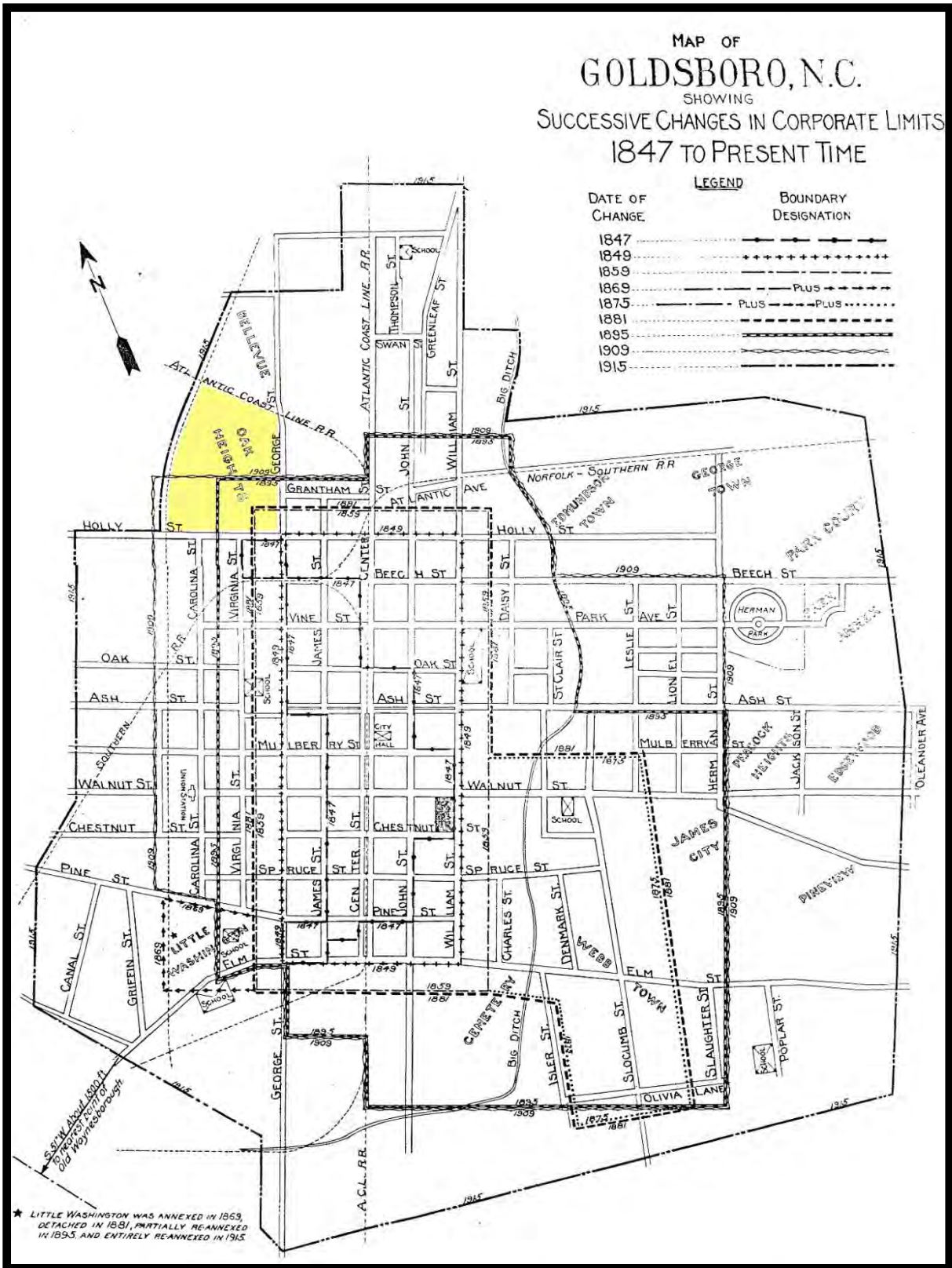


Figure 126: 1915 Map of Goldsboro, N. C. with the Oak Heights Neighborhood Shaded in Yellow (Wayne County Register of Deeds Cabinet B, slide 1).



Mills and an earlier operation, the Goldsboro Cotton Mills, was also obtained from Arnold and Eunice, suggesting that they owned a large amount of land in the area.<sup>27</sup>

It is difficult to discern when E. B. Borden obtained the land that became Oak Heights or who he purchased it from as the Wayne County cross indexes contain over eight pages of transactions involving E. B. Borden, E. B. Borden, Jr., and other members of the Borden family that occurred during the late nineteenth century and early twentieth centuries. It is also a possibility that he inherited it from his father, Arnold Borden, who owned a considerable amount of land in the vicinity of Goldsboro's first train depot. The indexes and family history, however, inform us that the family owned large quantities of land in the county and that they likely participated in land speculation as well.

The 1925 deed outlines a transaction between E. B. Borden's executives, Frank K. Borden, John L. Borden, and Edwin B. Borden, Jr., in which they sold 38 acres to the Standard Auction Company for \$30,000.<sup>28</sup> One month later, the auction company sold the land to the Oak Heights Realty Company for \$33,000.<sup>29</sup> A plat from May 1925 shows the layout of the first four blocks of the neighborhood (Figure 127).

Less than a month after the realty company purchased the property, it began selling lots. The lots ranged in price from \$305 for Block C, lot 5 to \$2,200 for Block A, lot 8, which was a prime commercial location. The deeds for the lots show that Edwin B. Borden, Jr., was the vice president of the company while C. H. Martin was the secretary. Furthermore, the deeds contain a set of seven covenants, the first of which states "that the property herein conveyed shall not be sold, rented, nor otherwise disposed of to persons of African descent for a period of ninety-nine

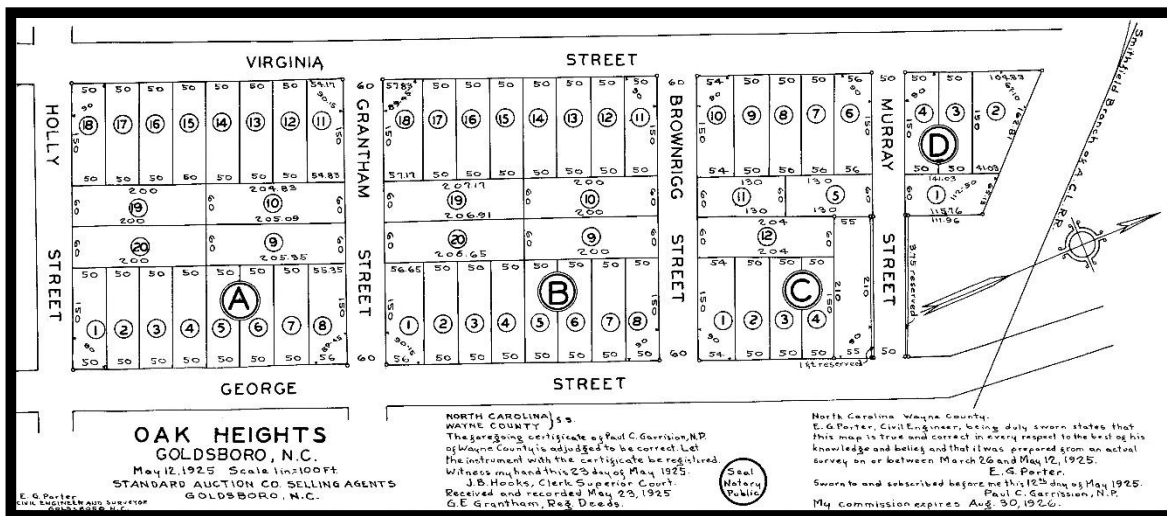


Figure 127: 1925 Plat of Oak Heights (Wayne County Register of Deeds Plat Book 2, page 57).

<sup>27</sup> Sarah Woodard, National Register of Historic Places Registration Form: Borden Manufacturing Company (WY0730), 2004.

<sup>28</sup> Wayne County Deed Book 177, page 88.

<sup>29</sup> Wayne County Deed Book 177, page 90.

# REMEMBER

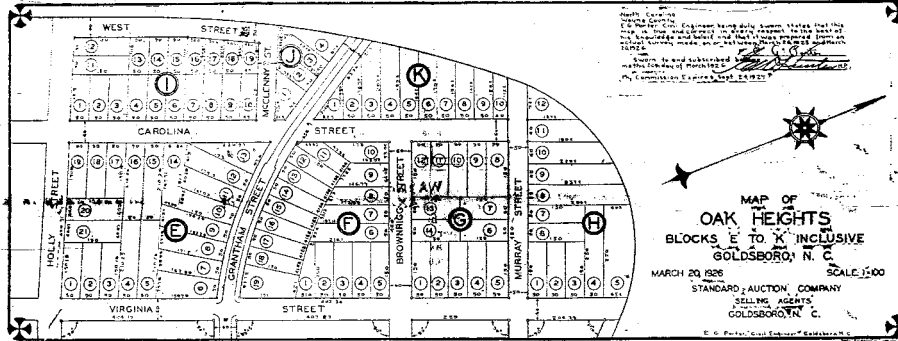
## OAK HEIGHTS

### BUILDING SITES

AT

### AUCTION

WEDNESDAY - MARCH 31st - At 10:30 A. M.



TOMORROW will witness the sale by Standard Auction Company of the remaining portion of Building sites in Goldsboro's Wonder Development — OAK HEIGHTS.

Have you selected the lot in this most attractive Residential Subdivision which appeals to you most—and which you would like to own, either as a Home site or as an Investment?

And—don't forget the Convenience of OAK HEIGHTS to the very heart of the city. A short walking distance to the Business District and a paved thoroughfare over Highway No. 10 to Raleigh passes through the property.

Public Utilities Improvements include Water, Lights and Sewerage guaranteed to purchasers.

To judge the future of OAK HEIGHTS in the light of its progress during the past TEN MONTHS would indicate that a short time will witness the complete absorption of this Property as Homesites. Remember — THIRTY-THREE HOMES built in OAK HEIGHTS in little less than TEN MONTHS. Truly this is Progress. TOMORROW—WEDNESDAY, MARCH 31st at 10:30 A. M., is the day and hour—MEET us at OAK HEIGHTS and enjoy the Band Concert by the Odd Fellows Band and the auctioneering of the famous Burton Brothers.

# Standard Auction Co.

Selling Agents

Joe A. Parker

Goldsboro, N. C.

## OAK HEIGHTS!

*A Place To Live -:- An Excellent Investment*

Figure 128: Oak Heights Auction Advertisement (Goldsboro Daily Argus, March 31, 1926).

years, beginning May 14, 1925.” Other covenants outline the placement and minimum costs of dwellings and commercial properties, the layout of the lots, and various uses of the streets retained by the grantor.<sup>30</sup> The Wayne County cross-indexes also show that most, if not all, of the properties were mortgaged with the realty company listed as the grantee.

It appears that the original lots sold successfully as in March of the next year the neighborhood was expanded with seven additional blocks. That same month, the realty company advertised the auction of the new lots in the *Goldsboro Daily Argus* (Figure 128). The advertisement referred to the neighborhood as “Goldsboro’s Wonder Development” and shared that 33 homes had been built in the neighborhood over the past ten months. It also lauded its convenience to the downtown business district and highways to Raleigh and its public utilities including “water, lights and sewerage.” Interestingly, while the Standard Auction Company sold the land to the Oak Heights Realty Company, it was retained as the selling agent for both phases of the neighborhood.

Joe A. Parker, a local real estate agent, is also listed in the advertisement. His own listing in the paper shows that he owned or acted as the agent for at least two properties in the first phase of the neighborhood that were rented (Figure 129). The advertisement also shares that the dwellings for rent had five and six rooms, bath, water, and lights, and that one had space for a garden.

The second phase of the development came with prescriptive covenants as well, though it eliminated the requirement that “the ‘layout’ or ‘plan’ of the lots” as shown on the plan of Oak Heights be adhered. The removal of this covenant was particularly taken advantage of by the Franklin Baking Company, which established itself on Block J around 1947 and eventually expanded to include all of Block I as well. As for the first phase of development, the seventh covenant stated “that all restrictions, except the first two, shall become null and void after twenty-five years from May 26, 1925.” The combination and reconfiguration of lots is present within the first set of blocks, particularly at the northwest corners of Blocks B and C, suggesting that those remained undeveloped until the covenant expired or that negotiations or lack of oversight from the realty company after the sale allowed the changes. Many of these lots may have been bought in multiple by individuals or businesses as investment properties as well (Figure 130).

**FOR RENT!**  
by  
**JOE A. PARKER**

- (1) WEST CHESTNUT ST.—One story, 5-room bungalow, water, bath, lights. House practically new . . . \$30.00 Mo.
- (2) SOUTH ALABAMA AVE.—One story, 5-room bungalow, water, bath, lights. House practically new . . . \$30.00 Mo.
- (3) 708 N. HERMAN ST.—Two story, 7-room house, lights, garage and about 2 acres of ground. Fine place to raise chickens, large garden, fruit, etc. . . . \$35.00 Mo.
- (4) 627 DEVEREAU ST.—One story, four room cottage, with lights and water. House is in excellent condition . . . \$5.00 Wk.
- (5) 629 DEVEREAU ST.—One story, four room cottage, with lights and water. House is in very good condition . . . \$5.00 Wk.
- (6) GREENLEAF—On the Wilson Highway, one story, 4-room cottage, newly painted and re-modeled. Lights, with plenty of room for nice garden and chickens . . . \$5.00 Wk.
- (7) 108 WEST OAK ST.—A 2-story, 7-room house with water, lights, bath. Quite suitable for a boarding and rooming house as it is right up town. \$10.00 Mo.
- (8) NORTH GEORGE ST.—In Oak Heights, a brand new, six room home, with bath, water and lights, also room for garden. . . . \$40.00 Mo.
- (9) NORTH GEORGE ST.—In Oak Heights, another practically new 5-room bungalow with bath, water, lights—quite desirable. . . . \$35.00 Mo.
- (10) 204 NORTH GEORGE ST.—A 2-story, 4-room home, with bath, water and lights. \$45.00 Mo.

CALL  
**Joe A. Parker :: Real Estate**

Figure 129: “For Rent!” Advertisement (*Goldsboro Daily Argus*, March 31, 1926).

<sup>30</sup> Wayne County Deed Book 177, pages 545- 600.



Figure 130: 2019 Parcel Map, Oak Heights Neighborhood. Note that green parcel lines are current while yellow lines indicate previous divisions (Wayne County GIS).

While the Wayne County Tax Department provides construction dates ranging from 1900 into the 1960s, it is more likely that the extant dwellings and commercial structures were all constructed after 1925. This observation combined with consultation of the tax records, deeds, Sanborn maps and aerial images suggests that construction occurred somewhat sporadically with a surge of construction in the late 1920s and early 1930s and a second surge in the 1950s (Figures 131 through 133).

As time passed, the neighborhood’s demographics changed as well. Originally planned as a whites-only neighborhood, a resident of 902 North Virginia Street shared that when he moved into the neighborhood in 1978, he was the second African American to live there. Since then, the neighborhood has become majority African American.

Despite the continuation of construction into the mid-twentieth century, it is unclear if the neighborhood was ever fully developed as there remain a significant number of vacant lots. Many of these, however, appear to relate to recent demolitions, some of which appear to have been conducted by the City of Goldsboro and others by the Franklin Baking Company. Today, there are 95 of buildings in the neighborhood, which was planned to have 154.

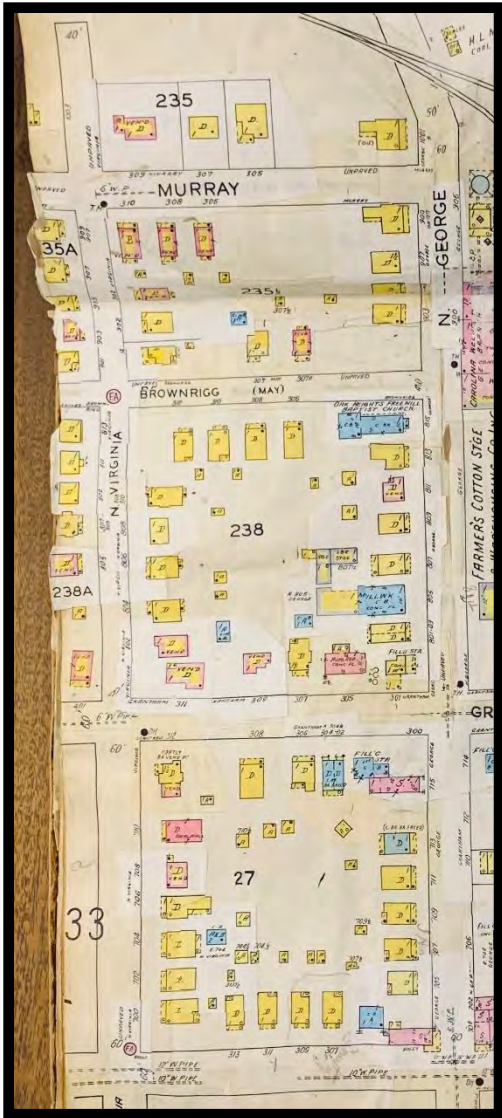


Figure 131: 1925 Sanborn Map with Updates Through 1956 Showing the Eastern Blocks of the Oak Heights Neighborhood (Wayne County Library).



Figure 132: 1950 Aerial Image Showing the Distribution of Structures in the Oak Heights Neighborhood. Note vacant lots in western blocks of neighborhood as well as small structures on lots now occupied by the Franklin Baking Company (EarthExplorer).



Figure 133: 1964 Aerial Image Showing the Distribution of Structures in the Oak Heights Neighborhood (EarthExplorer).

## **NRHP Criteria Evaluation**

For purposes of compliance with Section 106 of the NHPA, the Oak Heights Historic District is recommended not eligible for the NRHP.

### *Integrity*

Bound on the north and west by the railroad, on the south and east by industrial development and intersected by Grantham Street (US 70 Business), the Oak Heights neighborhood remains in its original location with much the same setting as when it was platted in 1925 and 1926. The neighborhood retains a medium level of integrity regarding design with a considerable amount of original materials and workmanship lost to alterations, neglect, and demolition. Though some dwellings and commercial properties stand out for the retention of their original design, the high number of others that are not as well preserved compromises the character of the neighborhood. Despite this, the collection of buildings in Oak Heights still conveys the feeling of an early twentieth-century neighborhood, and the architectural styles and forms present along its streets are easily associated with the period of development as well.

### *Criterion A*

The Oak Heights neighborhood is recommended not eligible for the NRHP under Criterion A (Event). To be eligible under Criterion A the property must retain integrity and must be associated with a specific event marking an important moment in American prehistory or history or pattern of events or historic trends that made a significant contribution to the development of a community, a state, or a nation. Furthermore, the property must have existed at the time and be documented to be associated with the events. Finally, the property's specific association must be important as well.

The Oak Heights neighborhood is historically associated with the development of Goldsboro and the expansion of the city in the early twentieth century as well as the rise in popularity and occurrence of planned neighborhoods. The neighborhood, however, is disconnected from the downtown core and other residential areas by industrial development and the railroad and thus does not directly represent an expansion of that area. Furthermore, its creation does not display a significant contribution to the development of Goldsboro or Wayne County. For these reasons, Oak Heights is recommended not eligible under Criterion A.

### *Criterion B*

The Oak Heights neighborhood is recommended not eligible for the NRHP under Criterion B (Person). For a property to be eligible for significance under Criterion B, it must retain integrity and 1) be associated with the lives of persons significant in our past, i.e., individuals whose activities are demonstrably important within a local, state, or national historic context; 2) be normally associated with a person's productive life, reflecting the time period when he/she achieved significance; and 3) should be compared to other associated properties to identify those that best represent the person's historic contributions. Furthermore, a property is not eligible if its only justification for significance is that it was owned or used by a person who is or was a member of an identifiable profession, class or social or ethnic group.

The property is historically associated with the Borden Family. This family is most known for its involvement with the Borden Manufacturing Company but was also influential through other business dealings and through their large land holdings. The land for the neighborhood was a



part of E. B. Borden's estate, and E. B. Borden, Jr., along with other businessmen in the community, was directly involved with the development of the neighborhood. The contributions of E. B. Borden and E. B. Borden, Jr., however, are more fully expressed through the Borden Manufacturing Company's facility (WY0730), which was listed on the NRHP in 2005 as being significant under Criteria A and C for industry and architecture, but not under Criteria B or for its association with the Bordens. The family's residence, the E. B. Borden House (WY0059), is also included on the North Carolina NRHP Study List, indicating that it is potentially eligible for the NRHP. No other individuals who are associated with the development of the neighborhood or who have lived in it were found to be historically significant within the local, state, or national historic context. Therefore, the property is recommended not eligible under Criterion B.

### *Criterion C*

The Oak Heights neighborhood is recommended not eligible for the NRHP under Criterion C (design/construction). For a property to be eligible under this criterion, it must retain integrity and either 1) embody distinctive characteristics of a type, period, or method of construction; 2) represent the work of a master; 3) possess high artistic value; or 4) represent a significant and distinguishable entity whose components may lack individual distinction.

Developed in the 1920s, the Oak Heights neighborhood displays a variety of common early-nineteenth-century architectural styles, including Craftsman and Tudor Revival, as well as mid-century styles, such as Minimal Traditional and Ranch, that were constructed through the 1960s. The collection of dwellings, interspersed with commercial and industrial development, has retained a medium level of integrity due to alterations such as vinyl siding and vinyl windows as well as altered and replaced porches.

Furthermore, while the neighborhood was platted with small parcels, two businesses in particular, the Franklin Baking Company and the McLamb Monument Company, were developed on multiple parcels, with the Franklin Baking Company consuming all of two of the original 11 blocks. This contradicts the original plan for the area and lessens the residential feel that the original plat conveyed.

The neighborhood has also lost integrity through the demolition of multiple dwellings. This negative effect is most visible on the southern blocks of the neighborhood where a complete row of dwellings was demolished around 2007 and where two prominent dwellings on West Grantham were lost around 2013. At least ten other dwellings have been demolished, some on prominent corners in the neighborhood.

Though the neighborhood does retain some well-preserved resources, its overall character is not representative of the early nineteenth-century neighborhood that it was planned to be. This is primarily a result of the prolonged period over which development occurred as well as the buffer of industrial development that borders the neighborhood on the south and east and separates it from the city's original residential district. It is likely that the neighborhood's location along the railroad, which once served as a catalyst for the city and drove much of its progress through the early nineteenth century, also had a negative impact on its development as well as its prolonged maintenance and desirability over time. Coupled with the existence of industrial development within its original boundary and the demolition of a significant number of resources the Oak

Heights neighborhood as a whole does not represent a significant or distinguishable entity, and therefore is recommended not eligible under Criterion C.

*Criterion D*

The Oak Heights neighborhood is recommended not eligible for the NRHP under Criterion D (potential to yield information). For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history and prehistory, and 2) the information must be considered important.

The neighborhood is not likely to yield any new information pertaining to the history of building design and technology and is therefore recommended not eligible under Criterion D.

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