



## North Carolina Department of Cultural Resources

James B. Hunt, Jr., Governor  
Betty Ray McCain, Secretary

Division of Archives and History  
William S. Price, Jr., Director

May 4, 1993

Nicholas L. Graf  
Division Administrator  
Federal Highway Administration  
Department of Transportation  
310 New Bern Avenue  
Raleigh, N.C. 27601-1442

Re: Historic Structures Survey Report for the Ellis  
Street Bridge Replacement, Salisbury, Rowan  
County, B-2085, 8.2631601, BRS-0914(4), ER 93-  
8631

Dear Mr. Graf:

Thank you for your letter of April 6, 1993, transmitting the historic structures survey report by Greiner, Inc., concerning the above project.

For purposes of compliance with Section 106 of the National Historic Preservation Act, we concur that the following property is eligible for the National Register of Historic Places under the criterion cited:

North Ellis-North Fulton Street Historic District.

Criterion A--The district is associated with the development of Salisbury between the close of the Civil War and World War II.

Criterion C--The district embodies the distinctive characteristics of the styles popular during this period, particularly the Greek Revival, Italianate, Queen Anne, Colonial Revival, Tudor Revival, and Craftsman styles.

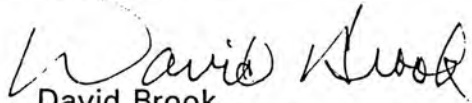
In general the report meets our office's guidelines and those of the Secretary of the Interior.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act of 1966 and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106, codified at 36 CFR Part 800.



Thank you for your cooperation and consideration. If you have questions concerning the above comment, please contact Renee Gledhill-Earley, environmental review coordinator, at 919/733-4763.

Sincerely,



David Brook  
Deputy State Historic Preservation Officer

DB:slw

cc: Dan Mikkelson, City of Salisbury  
L. J. Ward  
B. Church  
Greiner, Inc.

bc: Highway  
Brown/Stancil  
County  
RF

**An Historical Architectural Survey  
For**

**THE ELLIS STREET BRIDGE  
REPLACEMENT IN SALISBURY  
ROWAN COUNTY, NORTH CAROLINA**

**TIP No. B-2085 ■ State Project No. 8.2631601  
Federal Aid Project No. BRZ-0914(4)**

**Prepared For:**

**CITY OF SALISBURY, NORTH CAROLINA**

**Prepared By:**

**GREINER, INC.**

**FEBRUARY 1993**

**AN HISTORICAL ARCHITECTURAL SURVEY  
FOR  
THE ELLIS STREET BRIDGE REPLACEMENT  
IN SALISBURY, ROWAN COUNTY  
TIP NO. B-2085  
STATE PROJECT NO. 8.2631601  
FEDERAL AID PROJECT NO. BRZ-0914(4)**

**PREPARED FOR  
CITY OF SALISBURY, NORTH CAROLINA**

**PREPARED BY  
MARVIN A. BROWN  
SUZANNE S. PICKENS  
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GREINER, INC.  
RALEIGH, NORTH CAROLINA**

**FEBRUARY 1993**  
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## TABLE OF CONTENTS

	<b>PAGE</b>
I.	List of Plates and Figures . . . . . 1
II.	Management Summary . . . . . 5
III.	Introduction . . . . . 8
IV.	Physical Environment . . . . . 12
V.	Architectural and Historical Background . . . . . 21
VI.	Methodology . . . . . 31
VII.	Property Inventory and Evaluation . . . . . 32
	Proposed North Ellis-North Fulton Street Historic District . . . . . 33
VIII.	References Cited . . . . . 61
	Summary of Architectural Resources Survey . . . . . 62
IX.	Appendices
	Appendix A. Scope of Work . . . . . A-1

## I. LIST OF PLATES AND FIGURES

<u>Figure No.</u>	<u>Title</u>	<u>Page</u>
II.1	Area of Potential Effect .....	6
III.1	Project Location Map .....	10
III.2	Project Corridor Map .....	11
V.1	Gray's 1882 Map of Salisbury .....	23
V.2	Miller 1903 Map of Salisbury .....	24
VII.1	Proposed North Ellis-North Fulton Street Historic District .....	34
VII.2	Proposed North Ellis-North Fulton Street Historic District Boundaries and Current Property Map .....	35

<u>Plate No.</u>	<u>Title</u>	<u>Page</u>
IV.1	Southern Railroad Tracks and Ellis Street Bridge from North Fulton Street .....	13
IV.2	400 Block of North Jackson Street, SE Side .....	13
IV.3	700 Block of West Kerr Street .....	14
IV.4	400 Block of West Liberty Street, SW Side .....	14
IV.5	500 Block of West Liberty Street, SW Side .....	15
IV.6	Lunn-Feamster House, 420 North Ellis Street (#3) .....	15
IV.7	300 Block of North Ellis Street, SE Side .....	16
IV.8	621 West Cemetery Street .....	16
IV.9	300 North Fulton Street .....	17
IV.10	Former Salisbury Graded School, 314 North Ellis Street (1881 Block) (#1) .....	17
IV.11	324 West Liberty Street .....	18

**I. LIST OF PLATES AND FIGURES  
(continued)**

<u>Plate No.</u>	<u>Title</u>	<u>Page</u>
IV.12	Vacant Pope & Arey Store, 531 West Cemetery St. ....	18
IV.13	Salisbury Public Services Administrative Office Building, 519 North Fulton Street .....	19
IV.14	Doctor's Office, 130 Mocksville Road .....	19
IV.15	500 Block of North Fulton Street .....	20
V.1	Lunn-Feamster House, 420 North Ellis Street (#3) .....	25
V.2	Payne-Rice House, 428 North Ellis Street (#4) .....	25
V.3	Former Salisbury Graded School, 314 North Ellis Street (1881 block) (#1) .....	26
V.4	David A. Atwell House I, 416 West Kerr St. (#14) .....	26
V.5	624 West Kerr Street .....	27
V.6	422 North Caldwell Street .....	27
V.7	David A. Atwell House II, 404 West Kerr St. (#16) .....	28
V.8	John L. Rendleman House, 409 North Fulton St. (#23) .....	28
V.9	300 Block of North Ellis Street, SE Side .....	29
V.10	Former Salisbury Waterworks Emergency Power Plant 404 North Jackson Street .....	29
V.11	317 North Fulton Street (#20) .....	30
V.12	331 North Fulton Street (#21) .....	30
VII.1	Former Salisbury Graded School, 314 North Ellis Street (1881 Block) (#1) .....	39
VII.2	Former Salisbury Graded School, 314 North Ellis Street (1881 Block) (#1) .....	39

**I. LIST OF PLATES AND FIGURES  
(continued)**

<u>Plate No.</u>	<u>Title</u>	<u>Page</u>
VII.3	Former Salisbury Graded School, 314 North Ellis Street (1881 Block with Bathroom Building at Left) (#1) . . . . .	40
VII.4	Former Salisbury Graded School, 314 North Ellis Street (1922 Block) (#1) . . . . .	40
VII.5	Ellis Street Bridge (#2) . . . . .	41
VII.6	Ellis Street Bridge (#2) . . . . .	41
VII.7	Lunn-Feamster House, 420 North Ellis Street (#3) . . . . .	42
VII.8	Lunn-Feamster House, 420 North Ellis Street (#3) . . . . .	42
VII.9	Payne-Rice House, 428 North Ellis Street (#4) . . . . .	43
VII.10	Payne-Rice House, 428 North Ellis Street (#4) . . . . .	43
VII.11	301 North Ellis Street (#5) . . . . .	45
VII.12	305 North Ellis Street (#6) . . . . .	45
VII.13	309 North Ellis Street (#7) . . . . .	46
VII.14	313 North Ellis Street (#8) . . . . .	46
VII.15	317 North Ellis Street (#9) . . . . .	48
VII.16	321 North Ellis Street (#10) . . . . .	48
VII.17	325 North Ellis Street (#11) . . . . .	49
VII.18	329 North Ellis Street (#12) . . . . .	49
VII.19	418 West Liberty Street (#13) . . . . .	51
VII.20	David A. Atwell House I, 416 West Kerr Street (#14) . . . . .	52
VII.21	David A. Atwell House I, 416 West Kerr Street (#14) . . . . .	52
VII.22	406-408 West Kerr Street (#15) . . . . .	53



**I. LIST OF PLATES AND FIGURES  
(continued)**

<b><u>Plate No.</u></b>	<b><u>Title</u></b>	<b><u>Page</u></b>
VII.23	David A. Atwell House II, 404 West Kerr Street (#16) .....	54
VII.24	David A. Atwell House II, 404 West Kerr Street (#16) .....	54
VII.25	318 North Fulton Street (#17) .....	56
VII.26	324 North Fulton Street (#18) .....	56
VII.27	416 North Fulton Street (#19) .....	57
VII.28	317 North Fulton Street (#20) .....	57
VII.29	331 North Fulton Street (#21) .....	58
VII.30	401 North Fulton Street (#22) .....	58
VII.31	John L. Rendleman House, 409 North Fulton St. (#23) .....	60
VII.32	John L. Rendleman House, 409 North Fulton St. (#23) .....	60

## II. MANAGEMENT SUMMARY

The City of Salisbury is proposing to replace the Ellis Street bridge, which carries North Ellis Street across the below-grade Southern Railroad tracks between West Kerr and West Cemetery streets. The project, as proposed, will remove the existing bridge on Ellis Street in conjunction with the construction of a new bridge to directly connect Kerr Street and Mocksville Road.

The Area of Potential Effect (APE) for the project was determined in consultation with the City of Salisbury, the North Carolina Department of Transportation (NCDOT), the Federal Highway Administration (FHWA) and Greiner, Inc. to be a rectangle, centered on the bridge, bounded by West Franklin, North Craige, West Liberty, and North Jackson streets (Figure II.1). The boundary was selected in accordance with the requirement that the new bridge, which is to be built with federal funds, must be located in close proximity to the present structure. The APE comprises approximately 12.9 acres or twelve intensively developed, primarily residential, square city blocks within Salisbury.

Greiner, Inc. conducted an historic architectural survey of the area within and immediately adjacent to the APE. The survey methodology consisted of background research focusing on the historical and architectural development of Salisbury in general and of that part of the city within and around the APE in particular. Following this research, a field survey was undertaken to evaluate the National Register-eligibility of properties in the APE within the context of Salisbury. The survey was conducted on foot. One hundred percent of the APE was surveyed.

A total of ninety-one properties, some including outbuildings or other subsidiary buildings, were examined within the APE. Six had been surveyed in the mid-1970s by Davyd Foard Hood and included in his *Architecture of Rowan County*. It was determined that there is a potential National Register-eligible historic district contained within the APE. The proposed North Ellis-North Fulton Street Historic District consists of thirty-two contributing buildings, three non-contributing buildings, and one non-contributing structure. It is believed to be eligible for listing in the Register under Criteria A and C. None of the other properties within the APE appears to be eligible for the Register under any of its Criteria. The results of this survey and evaluation were presented to the Historic Salisbury Foundation. Members of the Board of Directors agreed with the survey findings and recommendations.

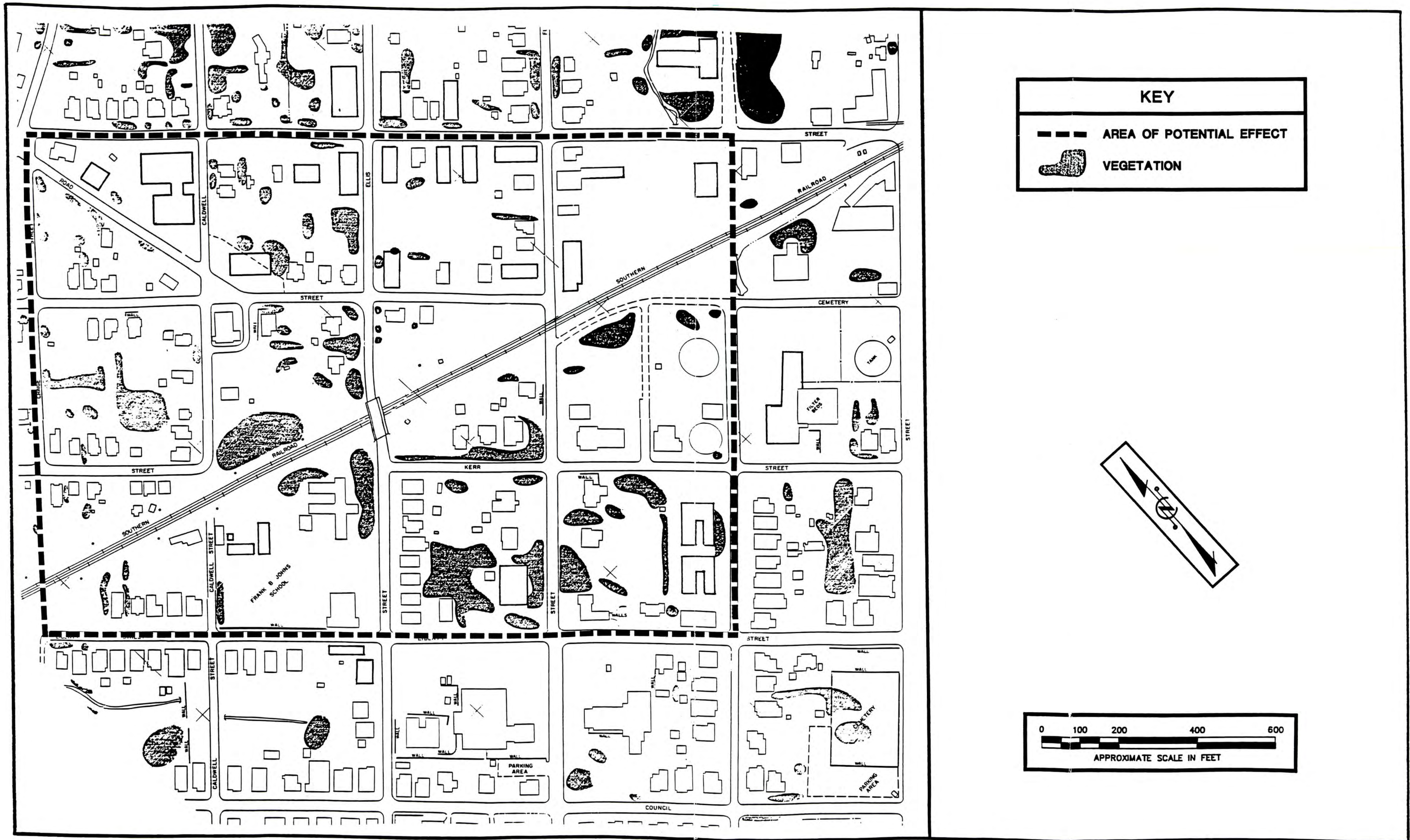


Figure II.1

Area of Potential Effect

**PROPERTY**

**PAGE**

Properties Listed in National Register of Historic Places

None

National Register Study List Properties

None

Properties Potentially Eligible for the National Register

North Ellis-North Fulton Street Historic District (#s 1-23) ..... 33-59

New Individual Survey Forms Completed for Previously Surveyed Properties (All Located Within Proposed Historic District)

Former Salisbury Graded School (314 N. Ellis St.) (#1) ..... 12,21,32,36,37,38  
Lunn-Feamster House (420 N. Ellis St.) (#3) ..... 21,32,37,38  
Payne-Rice House (428 N. Ellis St.) (#4) ..... 21,32,37,38  
John L. Rendleman House (409 N. Fulton St.) (#23) ..... 21,32,59  
David A. Atwell House I (416 W. Kerr St.) (#14) ..... 21,32,36,37,50  
David A. Atwell House II (404 W. Kerr St.) (#16) ..... 21,32,36,37,50

### III. INTRODUCTION

The City of Salisbury is proposing to replace the Ellis Street Bridge, which carries North Ellis Street across the below-grade Southern Railroad tracks between West Kerr and West Cemetery streets. The project, as proposed, will remove the existing bridge on Ellis Street in conjunction with the construction of a new bridge to directly connect Kerr Street and Mocksville Road (Figures III.1 and III.2). The current bridge consists of a timbered floor on timber joist and I-beam spans, which in turn are on a timbered substructure. The bridge, which is 102 feet long and 25 to 35 feet wide, also consists of one concrete abutment.

This report presents the results of an historic architectural survey of the project's Area of Potential Effect (APE), defined as the geographic area or areas within which an undertaking may cause changes in the character or use of historic properties. The APE was determined in consultation with the City of Salisbury, NCDOT, FHWA and Greiner, Inc. to be a rectangle, centered on the bridge, bounded by West Franklin, North Craig, West Liberty, and North Jackson streets (Figure II.1). The boundary was determined based upon the requirement that the new bridge, which is to be built with federal funds, must be located in close proximity to the existing structure. The APE comprises approximately 12.9 acres or twelve intensively developed, primarily residential, square city blocks within Salisbury.

The survey was conducted for the City of Salisbury by Greiner, Inc. This survey report was prepared according to guidelines set forth by NCDOT and the North Carolina State Historic Preservation Office (SHPO). The dates for the fieldwork and survey were October 5 to 16, 1992. Architectural Historian Marvin A. Brown conducted the fieldwork and prepared the survey report. James R. Snodgrass, Graphics Coordinator, and Brenda Laney, Administrative Assistant, prepared the graphics and assisted in the report production. Senior Architectural Historian Suzanne S. Pickens assisted in supervision of the project.

The scope of work for this architectural survey is presented in Appendix A. Briefly, an architectural survey of the APE of the bridge replacement project was required to comply with Section 106 of the National Historic Preservation Act of 1966, as amended, and 36 CFR 800. In order to meet the requirements of these laws and regulations, the work plan included the following items: (1) historic and architectural background research focusing on the city of Salisbury and the environs of the project area; (2) a field survey to locate and evaluate the National Register-eligibility of properties within the APE; and (3) the preparation of a report describing the project, the survey process, and the conclusions of the survey.

The APE is characterized by single-family residences built from the late 1860s to the present. It also includes a varied group of non-residential resources, which include the Ellis Street bridge, the historic former Salisbury Graded School, former waterworks buildings, a former church, a former store, a former service station, and modern city maintenance buildings, doctors' offices, meeting halls, stores, and apartment buildings. Empty lots which once held single-family residences are also scattered throughout the APE. The modern resources, vacant lots, and older resources which have lost their integrity due to alterations or moving are concentrated along the northwestern and southeastern blocks of the APE, as well as the blocks northeast of the tracks.

Within the APE are twenty-three properties, with additional outbuildings and subsidiary buildings, which comprise the proposed North Ellis-North Fulton Street Historic District. The district, which includes thirty-two contributing buildings, three non-contributing buildings, and one non-contributing structure, is believed to be eligible for listing in the National Register of Historic Places for its history and architecture under Register Criteria A and C. None of the other properties within the APE appears to be eligible for the Register under any of its Criteria.

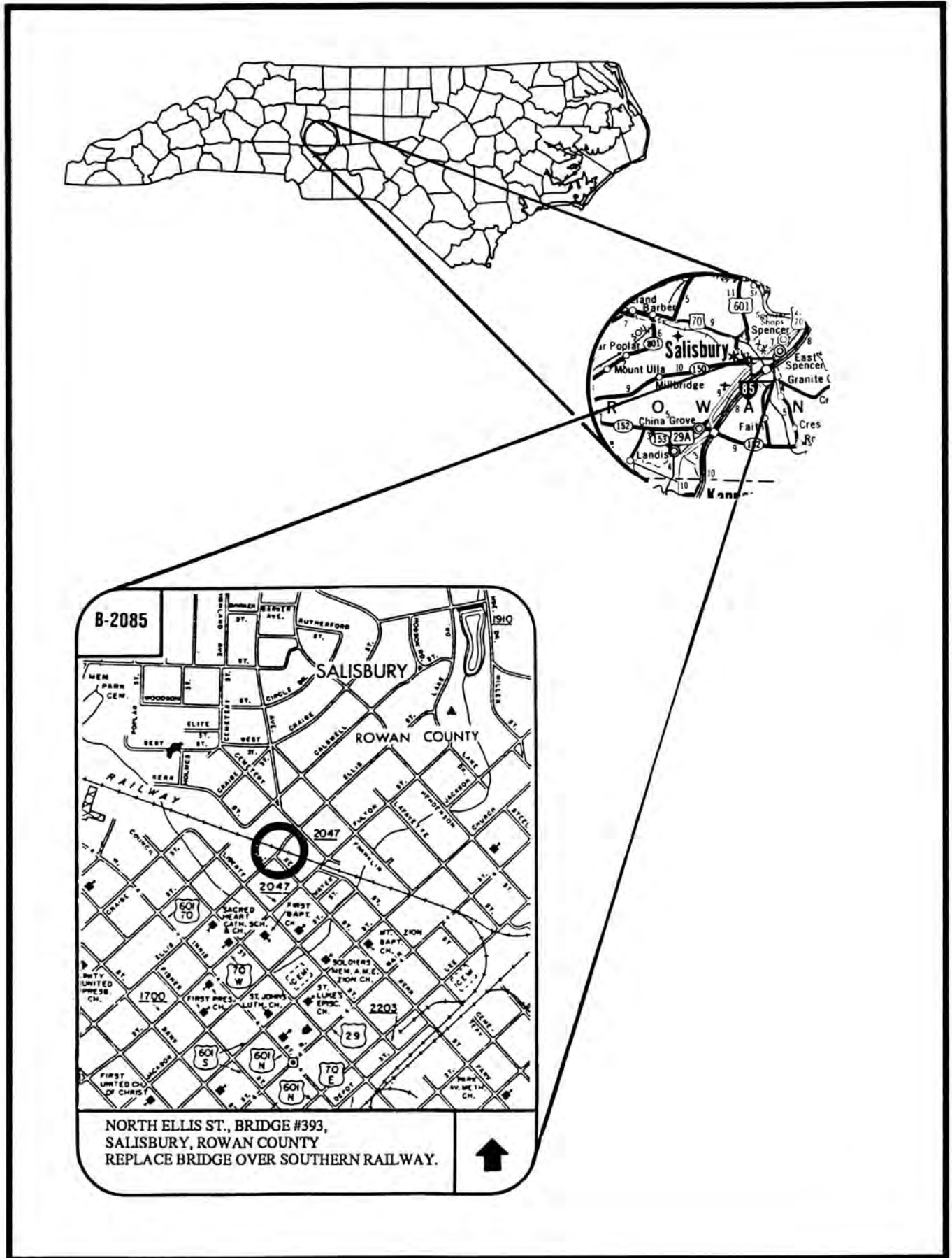


Figure III.1 Project Location Maps

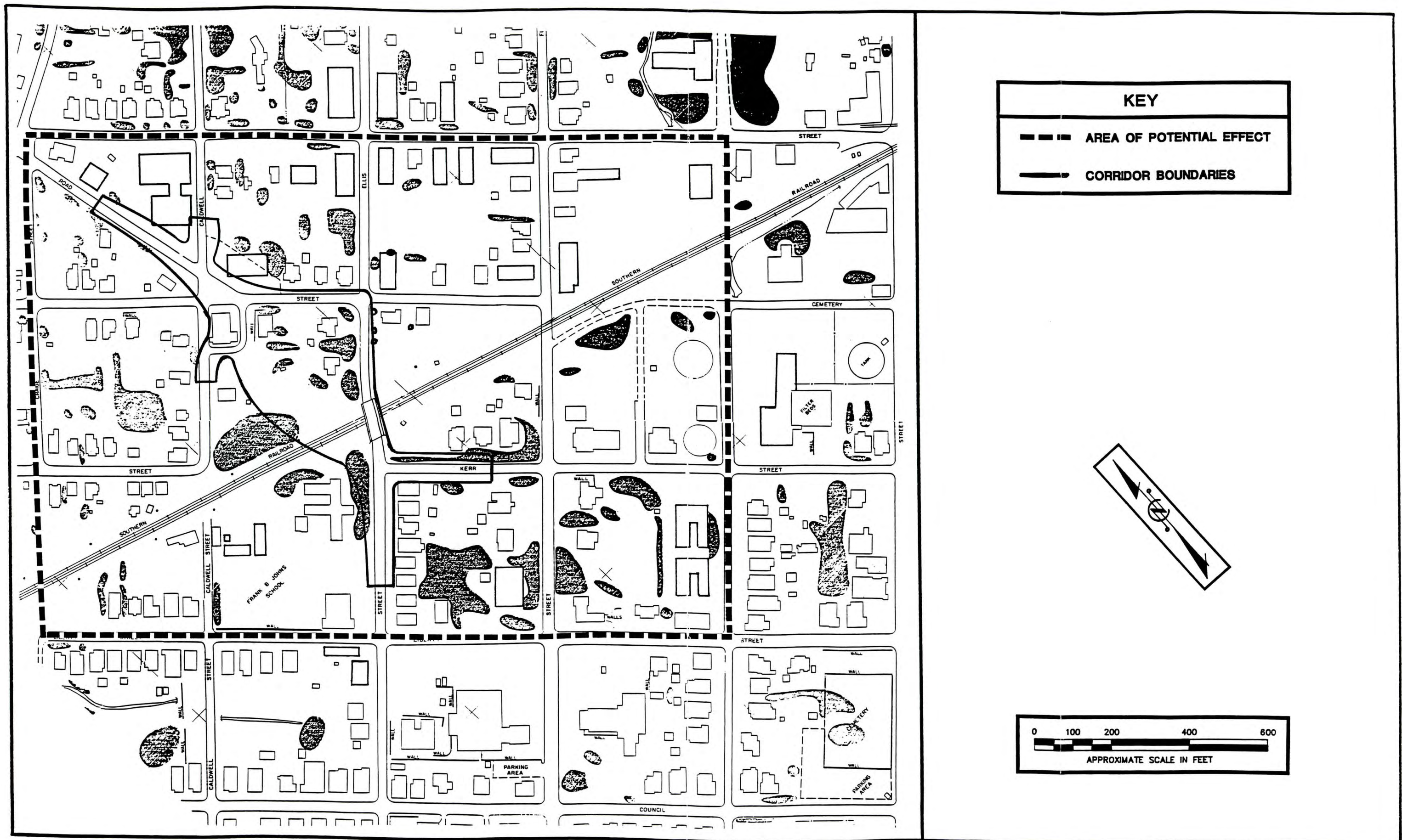


Figure III.2 Project Corridor Map



#### IV. PHYSICAL ENVIRONMENT

The Area of Potential Effect (APE) of the proposed Ellis Street bridge replacement project is a rectangle, centered on the bridge, bounded by West Franklin, North Craig, West Liberty, and North Jackson streets. The tracks of the Southern Railroad bisect it from east to west (Plate IV.1). Consisting of approximately 12.9 acres or twelve intensively developed, square city blocks within the city of Salisbury, the APE is surrounded on each side by urban development (Plates IV.2, IV.3, IV.4 and IV.5).

The project's environmental setting reflects an historically urban residential setting, with scattered early twentieth-century institutional and commercial structures. The APE encompasses a variety of residential and non-residential resources built from the late 1860s to the present. The residential resources include single-family dwellings (Plates IV.6, IV.7, and IV.8) and modern apartment buildings (Plate IV.9). The non-residential resources include the Ellis Street bridge; the historic former Salisbury Graded School (#1) (Plate IV.10); former waterworks buildings; a former church dating from the early 1940s (Plate IV.11); a vacant store (Plate IV.12) and service station; and modern city maintenance buildings (Plate IV.13), meeting halls, doctors' offices (Plate IV.14), and stores. Empty lots which once held single-family residences are also scattered throughout the APE. The modern resources, vacant lots, and resources more than fifty years old which have lost their integrity due to alterations or moving are concentrated in the northwestern and southeastern blocks of the APE, as well as the blocks northeast of the tracks (Plate IV.15). Within the APE are twenty-three properties, with additional outbuildings and subsidiary buildings, which comprise the proposed North Ellis-North Fulton Street Historic District. It should be noted that there are properties within the APE which are more than fifty years old and basically retain their integrity, but were not included in the boundaries of the proposed historic district. These properties were determined not to contribute to the character or period of significance of the district and were also not considered to be individually eligible for the National Register.

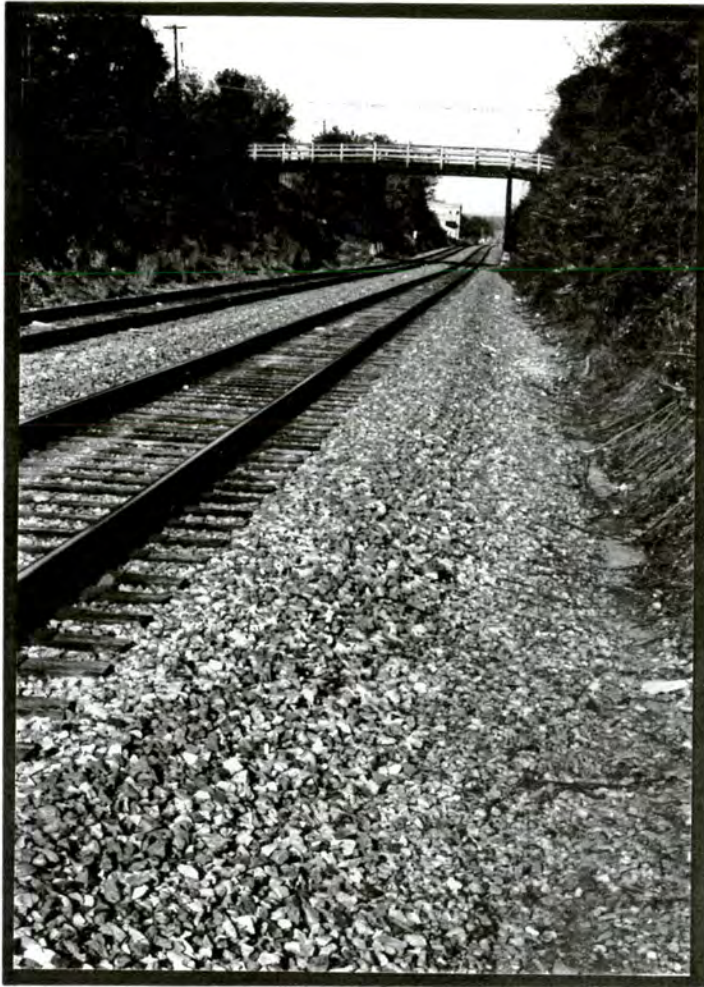


Plate IV.1  
Southern Railroad  
Tracks and Ellis  
Street Bridge from  
North Fulton Street



Plate IV.2  
400 Block of  
North Jackson  
Street, SE Side



Plate IV.3  
700 Block of  
West Kerr Street



Plate IV.4  
400 Block of  
West Liberty  
Street, SW Side



Plate IV.5  
500 Block of  
West Liberty  
Street, SW Side



Plate IV.6  
Lunn-Feamster  
House, 420 North  
Ellis Street (#3)



Plate IV.7  
300 Block of  
North Ellis  
Street, SE Side



Plate IV.8  
621 West  
Cemetery Street

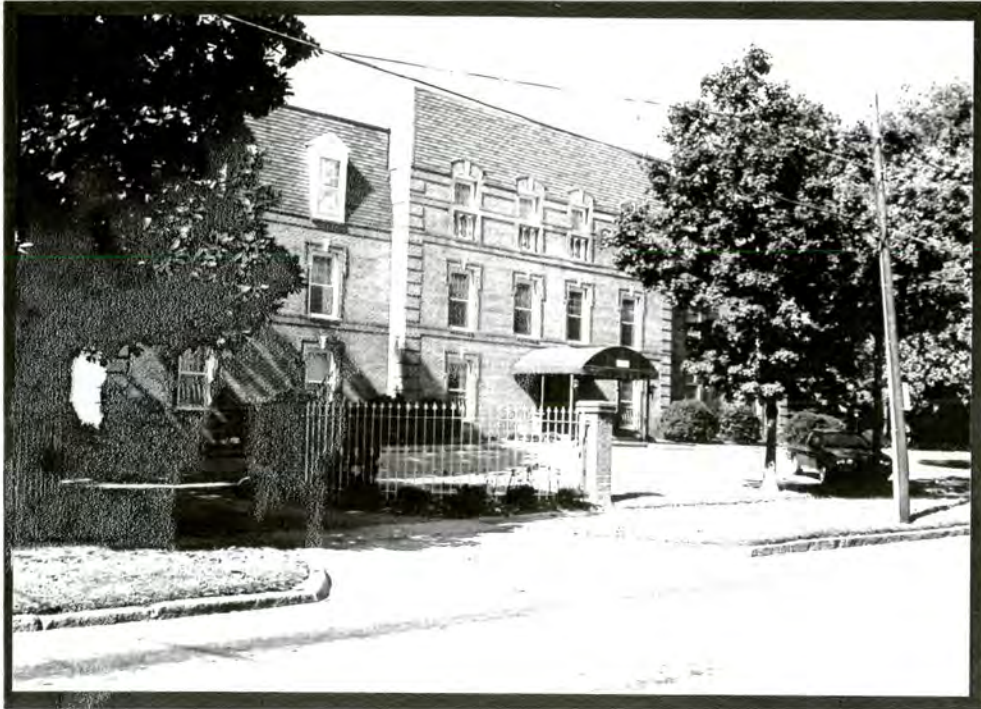


Plate IV.9  
300 North  
Fulton Street



Plate IV.10  
Former Salisbury  
Graded School,  
314 North  
Ellis Street  
(1881 Block)  
(#1)

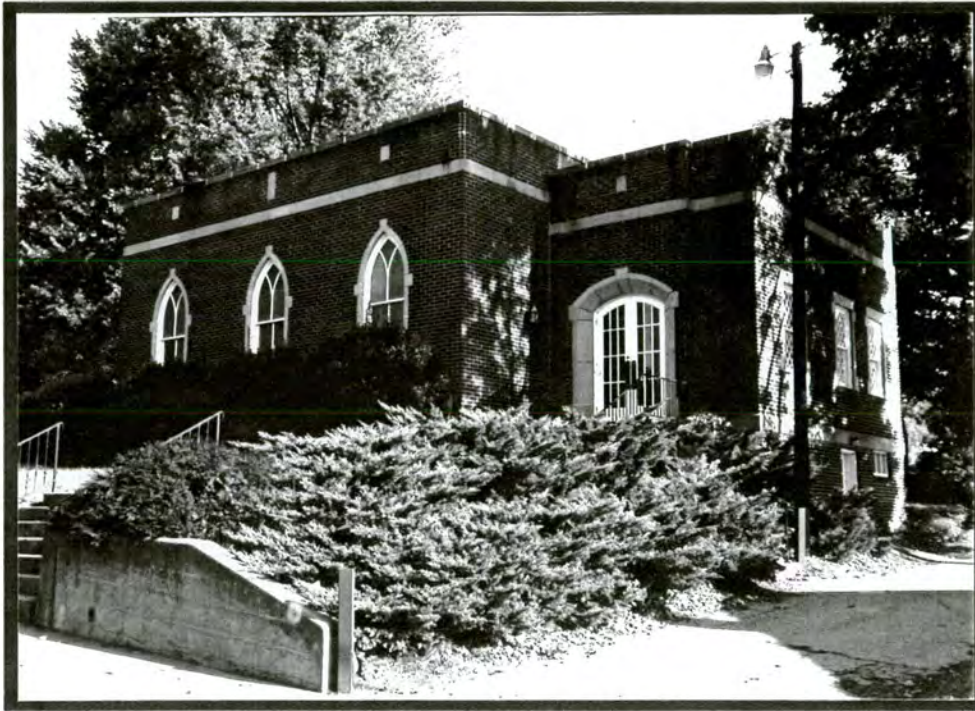


Plate IV.11  
324 West  
Liberty Street



Plate IV.12  
Vacant Pope &  
Arey Store,  
531 West  
Cemetery Street



Plate IV.13  
Salisbury  
Public Services  
Administrative  
Office Building,  
519 North  
Fulton Street

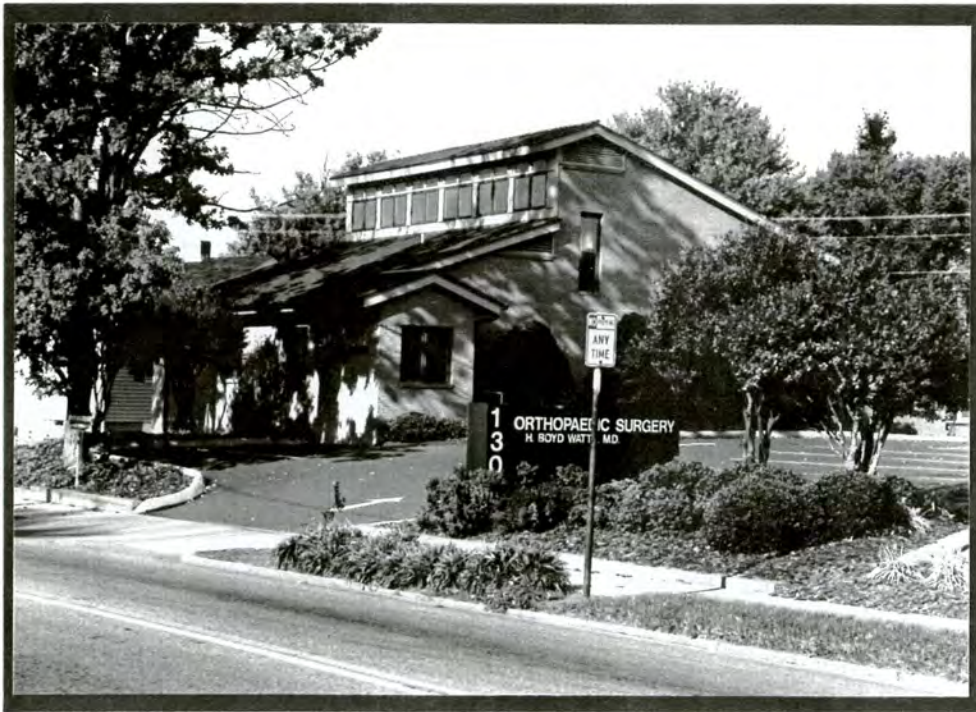


Plate IV.14  
Doctors Office,  
130 Mocksville Road



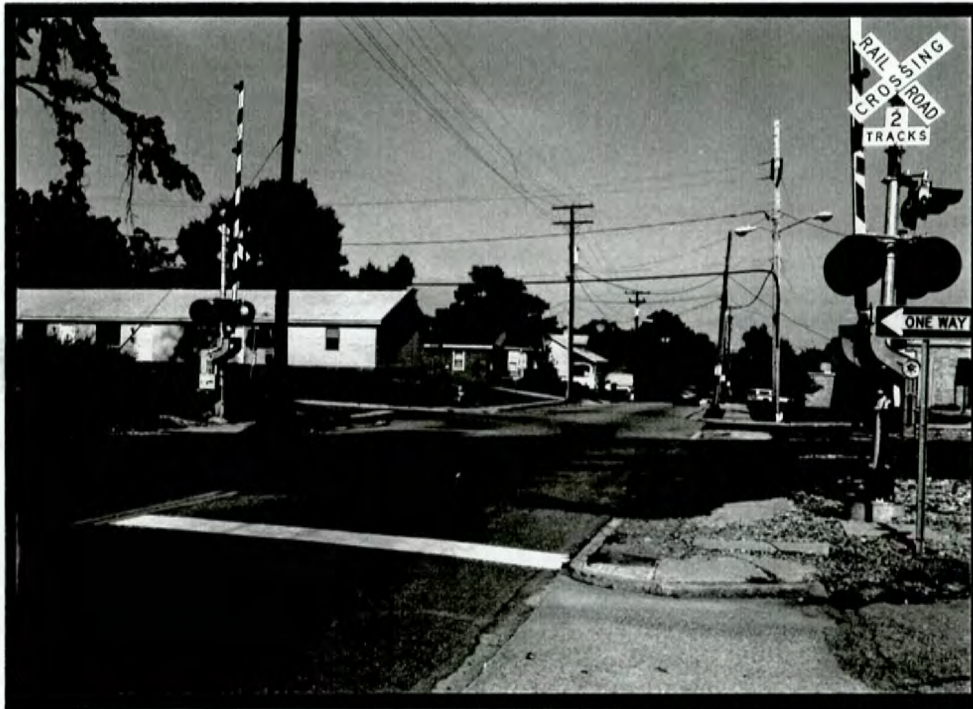


Plate IV.15  
500 Block of  
North Fulton  
Street

## V. ARCHITECTURAL AND HISTORICAL BACKGROUND

Salisbury was founded in 1755 as the seat of Rowan County. With ready access to the traditional route of the east-west Trading Path and vitalized by the industrious Scots-Irish and German immigrants streaming into the Piedmont and the county through the Valley of Virginia, it soon became the commercial, political, and transportation center of western North Carolina. The town grew steadily through the mid-nineteenth century. Between 1850 and 1860 alone its population rose from 1,086 to 2,420, placing it fifth among the state's towns and cities (Hood 1983:289-292).

Salisbury's prosperity in the mid-nineteenth century was based upon its location, a local gold mining industry and, most importantly, the coming of the railroad. In January, 1855, the section of the North Carolina Railroad between Salisbury and Charlotte was completed (Hood 1983:292). Also in 1855 the Western North Carolina Railroad, the first leg of which was intended to extend to Morganton, was begun (Brawley 1953:168-169). The Ellis Street bridge crosses over the original route of this latter line.

Laid out in a grid, the city originally grew around the central intersection of Ellis and Main streets and in its south and east quadrants. The soot of the railroad is said to have spurred development beginning in the 1850s in the west quadrant as well (Hinson and Tompkins, 1975; Buffaloe, December 1986). Growth in the north quadrant, where the project area is located, did not occur until the last quarter of the nineteenth century.

The growth promoted by the railroad was stunted by the Civil War and its aftermath. By the 1870s, however, the city was rising anew. In 1870 the Western North Carolina Railroad established its shops in Salisbury and became its largest employer. Tobacco, lumber, textile, and other enterprises came to the city as well, all aided by the rail connections to markets. Between 1880 and 1900 the city's population expanded from 2,723 to 6,277. In the latter year it was the eighth largest community in the state (Hood 1983:292-294).

In 1882 the area within and around the study area was still thinly populated (Figure V.1). Within the APE there were about seventeen houses. Most were concentrated on West Cemetery Street and North Ellis Street northeast of the train tracks. These included the newly built, extant Lunn-Feamster (#31) (Plate V.1) and Payne-Rice (#4) (Plate V.2) houses at 420 and 428 North Ellis Street. South of the tracks stood only the new Salisbury Graded School (1881) (#1) (Plate V.3) and five houses. Three of these residences occupied full square blocks. One, the 1867 house of David A. Atwell at 416 West Kerr Street (#14), still stands (Plate V.4). Northwest of the school and the Lunn-Feamster and Payne-Rice houses were large empty tracts (Gray's Map of 1882; Hood 1983:327-330, 336).

By 1903 the number of houses within the APE had grown (Figure V.2). The larger estates had been cut in halves or quarters and houses had been constructed on small lots on West Kerr and North Caldwell streets just north of the tracks (Plates V.5 and V.6). Two dwellings erected through the efforts of D. A. Atwell in the 1890s continue to stand within the APE: Atwell's second house at 404 West Kerr Street (#16) (Plate V.7) and the house of his daughter and son-in-law, John L. Rendleman, at 409 North Fulton Street (#23) (Miller Map of Salisbury of 1903; Hood 1983:312, 335) (Plate V.8).

Growth continued in Salisbury in the early twentieth century, its 1920 population of 13,884 the ninth largest in the state (Hood 1983:294). By that date a number of bungalows and Tudor Revival style dwellings had been erected within the APE, including the row of eight houses that still stands on the 300 block of North Ellis Street across from the school (Plate V.9). The school itself had grown greatly through the addition in 1904 of a large high school wing, demolished in 1967. Also during the first two decades of the century, Salisbury constructed its waterworks within and beyond the southeastern edge of the APE. Although the facility has been modernized and expanded, parts of it still stand (Sanborn Map Company maps 1907, 1913, and 1922) (Plate V.10). More small bungalows and large Colonial and Tudor Revival style houses were constructed in the APE in the 1920s, most notably along North Fulton Street (Plate V.11). The houses erected in the early twentieth century on North Ellis and North Fulton streets--in keeping with the character of the late nineteenth-century dwellings surviving within the APE--were almost all substantial, two-story structures built for middle- and upper middle-class individuals. The other dwellings constructed within the APE in the early twentieth century are almost exclusively one-story homes of the lower middle and working classes.

In the 1930s, Salisbury's population began to level off and it was soon outdistanced in size by the Piedmont cities of Raleigh, Durham, Greensboro, Winston-Salem, and Charlotte. Within the APE building activity virtually ceased, a notable exception being the large Tudor Revival style dwelling constructed at 331 North Fulton Street (#21) (Plate V.12). The tapering off of growth, along with the emergence of an active, effective preservation movement, preserved Salisbury's historic and architectural character and protected many notable individual buildings and neighborhoods throughout the city.

Much of Salisbury's architecture has been recognized through inclusion in local historic districts and in the National Register. Individual entries in the Register include the Federal style Utzman-Chambers House (ca. 1819), the Federal style Josephus Hall House (ca. 1820), the Second Empire style Grimes Mill (1896-97), and the Mission style Southern Railway Passenger Depot (1907-08). The vast majority of Salisbury's historic architectural resources, however, are recognized in the National Register through historic districts. The city has eight districts listed in the Register: the Salisbury Historic District; the Livingstone College Historic District; the Brooklyn-South Square Historic District; the North Main Street Historic District; the North Long Street-Park Avenue Historic District; the Kesler Manufacturing Company Historic District; the Salisbury Railroad Corridor Historic District; and the Shaver Rental Houses Historic District. These districts are extremely diverse, covering almost every type, form, and style of architecture popular in North Carolina from the early nineteenth century through the 1930s.

The resources of the proposed North Ellis-North Fulton Street Historic District are equal in quality, character, and range to those of the city's other districts. Built from the late 1860s through the 1930s, they represent a wide variety of styles, including the Greek Revival, Italianate, Queen Anne, Colonial Revival, Tudor Revival, and Craftsman. The former Salisbury Graded School, the cruciform section of which was built in 1881, is the city's oldest surviving public school and an excellent, if modest, example of the institutional Italianate style. While the northwestern and southeastern blocks of the APE, as well as the blocks northeast of the tracks, have deteriorated or been altered and modernized, the core along North Ellis and North Fulton streets has remained intact. This area of large, fine houses--which has always had a character separate from that of the remainder of the APE--is believed to be eligible for the National Register as a historic district.

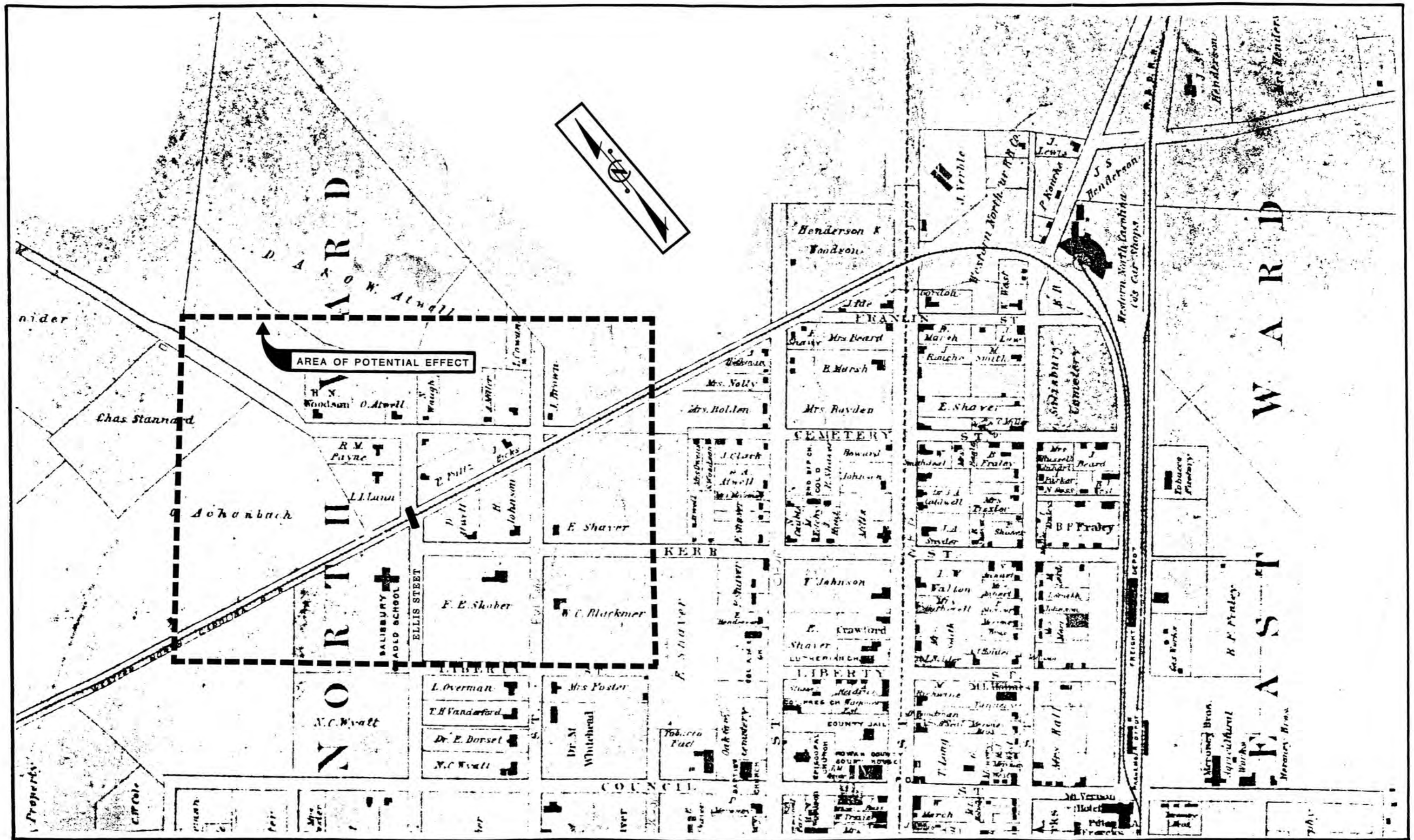


Figure V.1 Gray's 1882 Map of Salisbury

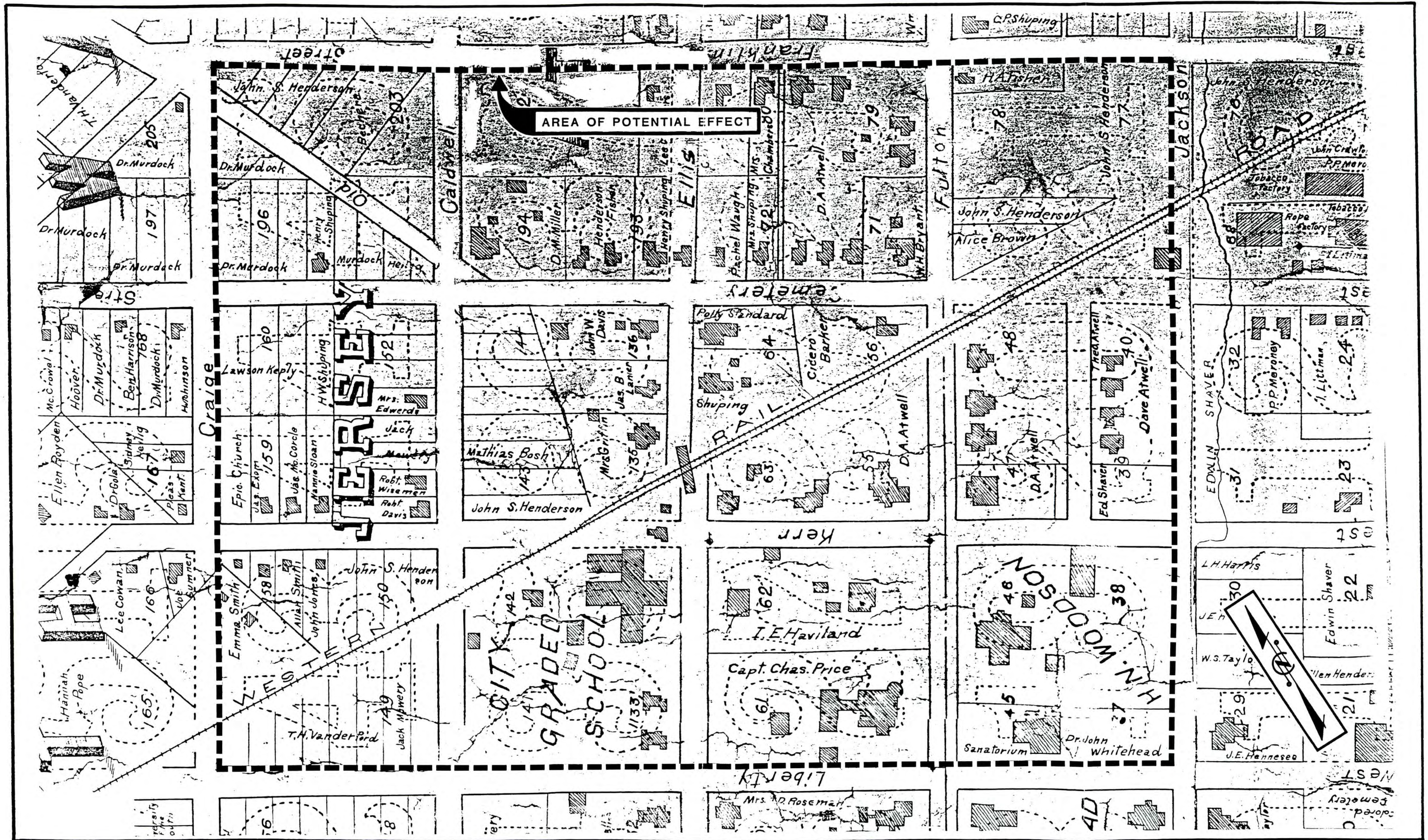


Figure V.2 Miller's 1903 Map of Salisbury



Plate V.1  
Lunn-Feamster  
House, 420 North  
Ellis Street (#3)



Plate V.2  
Payne-Rice House,  
428 North Ellis  
Street (#4)



Plate V.3  
Former Salisbury  
Graded School  
314 North  
Ellis Street  
(1881 Block) (#1)



Plate V.4  
David A. Atwell  
House I, 416 West  
Kerr Street (#14)



Plate V.5  
624 West  
Kerr Street



Plate V.6  
422 North  
Caldwell Street





Plate V.7  
David A. Atwell  
House II, 404 West  
Kerr Street (#16)



Plate V.8  
John L. Rendleman  
House, 409 North  
Fulton Street (#23)

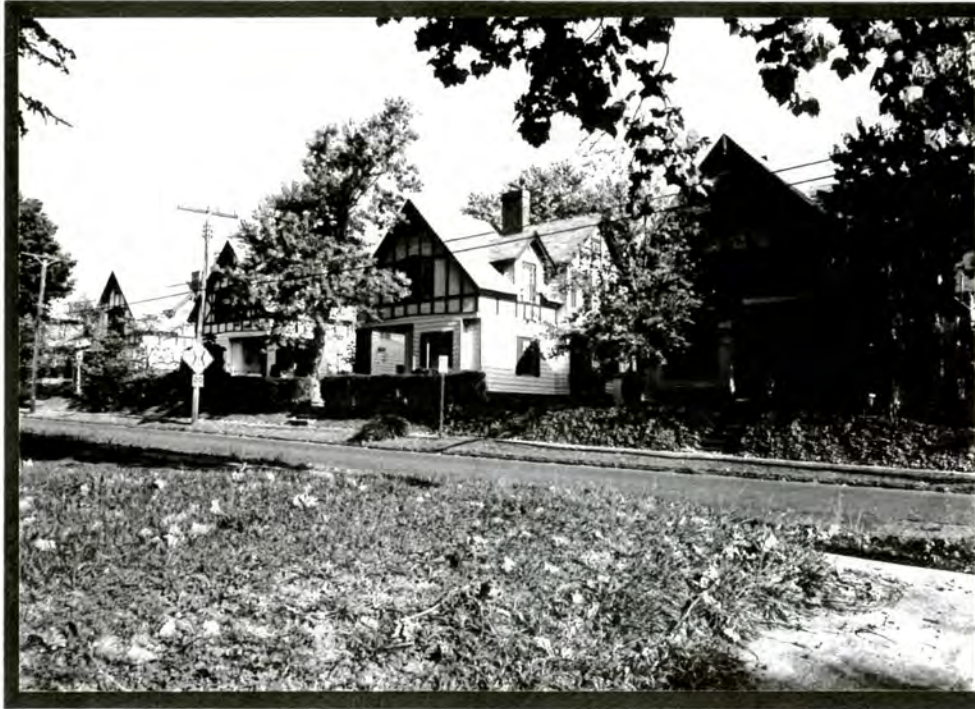


Plate V.9  
300 Block of  
North Ellis Street,  
SE Side



Plate V.10  
Former Salisbury  
Waterworks  
Emergency  
Power Plant,  
404 North  
Jackson Street



Plate V.11  
317 North  
Fulton Street  
(#20)



Plate V.12  
331 North  
Fulton Street  
(#21)

## VI. METHODOLOGY

The survey methodology consisted of historical background research and a field survey of the area surrounding the project. The majority of the background research relied on Davyd Foard Hood's Architecture of Rowan County and the files Hood compiled on six of the properties within the project's Area of Potential of Effect (APE); the National Register nominations of Salisbury's eight historic districts; Ron Buffaloe's series of articles in The Salisbury Watchman on Salisbury's historic districts; Sanborn fire insurance maps; Gray's map of Salisbury of 1882; and the Miller map of Salisbury of 1903.

The purpose of the research was to understand the architectural and historical context of Salisbury and of the area within and around the APE. Understanding these contexts was crucial in determining which, if any, individual properties or districts were potentially eligible for listing in the Register. Because of the number, range, and quality of Salisbury's historic districts, it was important to understand Salisbury's architectural and historical contexts to be able to determine whether any individual properties or districts were of local significance.

Following the research, a field survey of the area within and around the APE was conducted by car and on foot. The APE had previously been determined in consultation with the City of Salisbury, NCDOT, FHWA, and Greiner, Inc. based on the configuration of the proposed alternatives (see Figure III.2) and the urban nature of the area surrounding the existing bridge. Specifically, the APE was identified as the geographic area within which the undertaking may cause change in the character or use of potentially significant historic properties. The entire APE was walked and a North Carolina Multiple Structures Form or "green form" was completed for every street within the APE. A brief description was written and a photograph taken of every resource within the APE, regardless of age. Additionally, a new North Carolina Historic Structure Short Data Sheet or "yellow form" was completed for the six buildings within the APE previously inventoried by Hood in the mid 1970s. Hood had recorded these properties on forms of an earlier vintage. Multiple photographs were taken of each property recorded on a yellow form.

As a result of the research and fieldwork, it was determined that there is a potential historic district--the proposed North Ellis-North Fulton Street Historic District--contained within the APE. A history, description, and boundary justification of this district was written, as were individual descriptions of each property within the district. A map of the proposed district was also prepared. In the consultant's professional opinion, no other properties within the APE are eligible for the National Register and; therefore, none was recorded beyond the level of photography and description required for completing a state green form entry for each.

Greiner staff met with the City of Salisbury and with members of the Historic Salisbury Foundation prior to the beginning of fieldwork and to present the results of the survey. The City and board members of the Foundation agreed with Greiner's recommendation concerning the identification and boundaries of the proposed historic district.

## VII. PROPERTY INVENTORY AND EVALUATIONS

A North Carolina Multiple Structures Form or "green form" was completed for every street within the Area of Potential Effect (APE). A brief description was written and a photograph taken of every resource within the APE, regardless of age. Additionally, a new North Carolina Historic Structure Short Data Sheet or "yellow form" was completed for the former Salisbury Graded School (#1), the Lunn-Feamster House (#3), the Payne-Rice House (#4), the John L. Rendleman House (#23), David A. Atwell House I (#14), and David A. Atwell House II (#16). Forms of an earlier vintage had been completed for all of these properties in the mid-1970s by Davyd Foard Hood during his inventory of Rowan County. Multiple photographs were taken of each property recorded on a yellow form. In the consultant's professional opinion, a National Register-eligible historic district--the proposed North Ellis-North Fulton Street Historic District--is contained within the APE. A history and architectural history of this district and its individual resources, photographs, and a district map are included herein. In the consultant's professional opinion, no other properties within the APE are recommended as eligible for the National Register, and therefore none was recorded beyond the level of photography and description required for completing a state green form entry for each.

### Properties Listed in the National Register of Historic Places

None

### National Register Study List Properties

None

### Properties Potentially Eligible for the National Register

North Ellis-North Fulton Street Historic District

### New Individual Survey Forms Completed for Previously Surveyed Properties (All Located Within Proposed Historic District)

Former Salisbury Graded School (314 N. Ellis St.) (#1)

Lunn-Feamster House (420 N. Ellis St.) (#3)

Payne-Rice House (428 N. Ellis St.) (#4)

John L. Rendleman House (409 N. Fulton St.) (#23)

David A. Atwell House I (416 W. Kerr St.) (#14)

David A. Atwell House II (404 W. Kerr St.) (#16)

## PROPOSED NORTH ELLIS-NORTH FULTON STREET HISTORIC DISTRICT

The proposed North Ellis-North Fulton Street Historic District includes portions of North Ellis, West Kerr, North Fulton, and West Liberty streets (Figures VII.1 and VII.2). It includes thirty-two contributing buildings, three non-contributing buildings, and one non-contributing structure. It is believed to be eligible for listing in the National Register of Historic Places under Criterion A, for its association with the development of Salisbury between the close of the Civil War and World War II, and under Criterion C, for embodying the distinctive characteristics of the styles popular during this period, particularly the Greek Revival, Italianate, Queen Anne, Colonial Revival, Tudor Revival, and Craftsman styles.

elig.  
crit.

### Boundaries

The district's boundaries were drawn to include: the historic, Italianate style former Salisbury Graded School; five large, late nineteenth-century, Greek Revival, Italianate, and Queen Anne style houses; five large, early twentieth-century, Colonial, Tudor, and Period Revival style houses on North Fulton Street; and a row of substantial Tudor Revival, bungalow, and Craftsman style houses on North Ellis and West Liberty streets which, in spite of modern siding, retain their integrity as a handsome, cohesive unit. The boundaries were drawn to exclude: large, modern buildings, including a YMCA, a church, apartment buildings, Salisbury city schools' storage buildings, and city maintenance and water treatment facilities; smaller residences and apartments less than fifty years old; vacant lots previously filled by residences; and small bungalows and cottages more than fifty years old which are out of character with the buildings within the district and which have had their integrity greatly diminished, and in some cases destroyed, through alterations to their windows, porches, cladding, and chimneys.

excluded

It is believed that for a district to be eligible with a local level of significance in a city as rich in architectural and historical resources as Salisbury, its boundaries must be carefully drawn to include a high percentage of buildings with their integrity and historic character intact. Salisbury's architectural resources are exceptional and have been recognized through the listing of eight historic districts in the National Register. Within these districts, which encompass dozens of square blocks, are residential and non-residential resources representing almost every style, type, and form of architecture popular in North Carolina from the early nineteenth century through the Great Depression. Because of the high caliber and scope of these districts, the proposed district boundaries were drawn to include a maximum number of resources of high integrity and similar character and to minimize the number of non-contributing resources. Two modern non-contributing buildings--the Masonic Lodge (#22) and the duplex at 406-408 West Kerr Street (#15)--were included within the district to keep its boundaries relatively regular; the non-contributing Ellis Street bridge was also included to aid in conceptually connecting the two sections of the district divided by the Southern Railroad tracks.

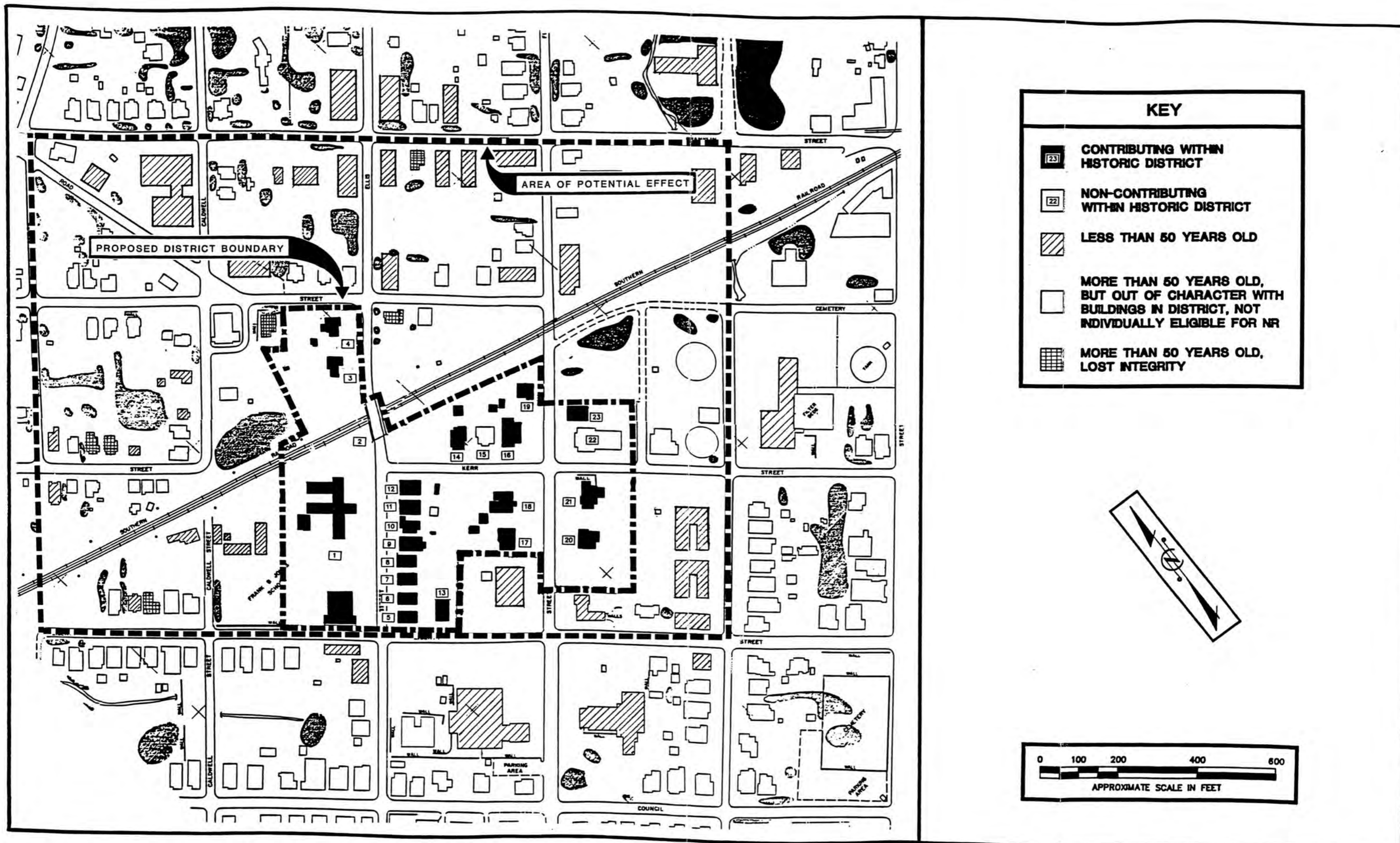


Figure VII.1 Proposed North Ellis-North Fulton Street Historic District

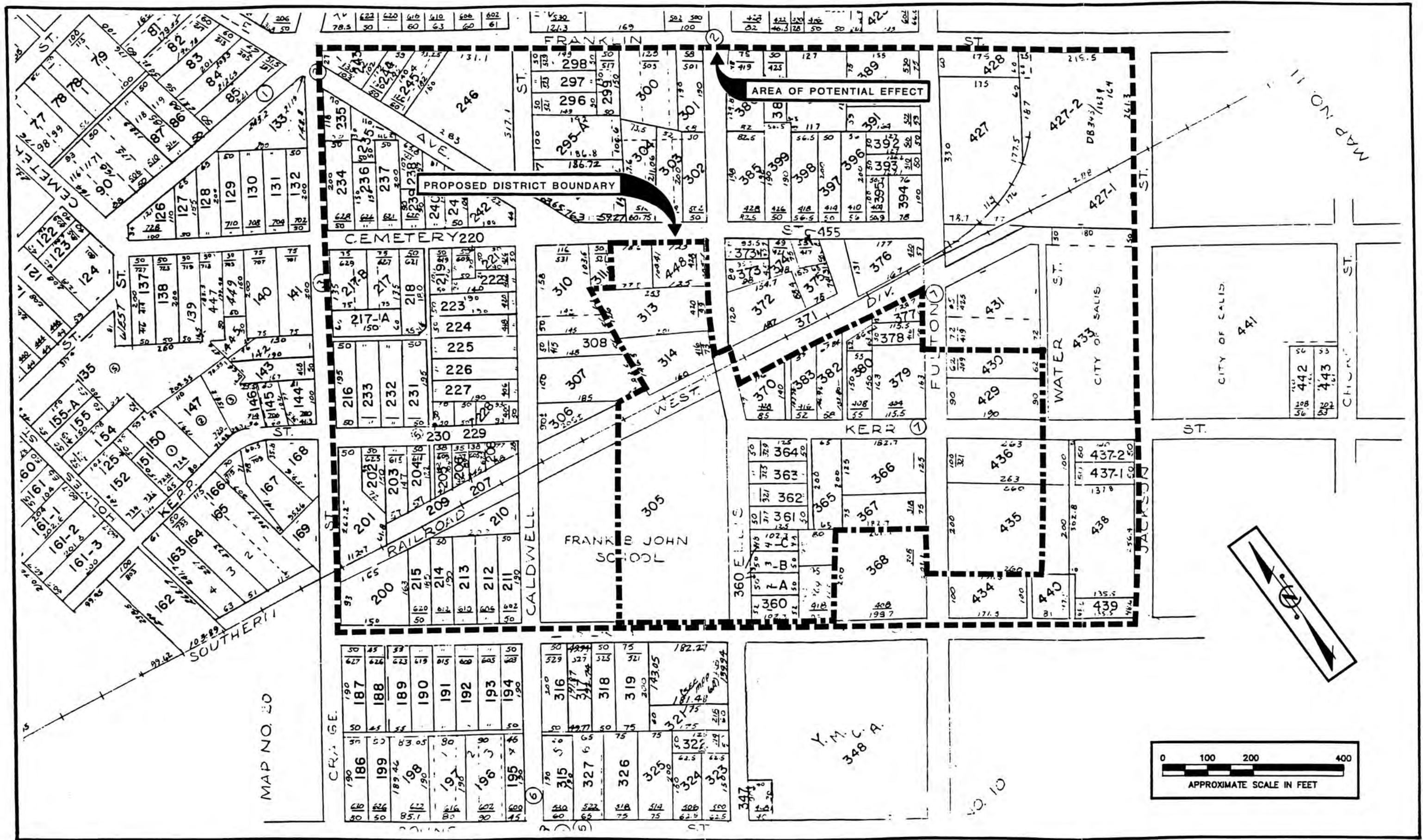


Figure VII.2 Proposed North Ellis–North Fulton Street Historic District Boundaries and Current Property Map



## History

Founded in 1753, Salisbury was laid out in a grid centered on the intersection of Main and Innes streets, about four blocks south of the proposed North Ellis-North Fulton Street Historic District. Prior to the coming of the North Carolina and Western North Carolina railroads to the town in 1855, growth was primarily limited to Salisbury's south and east quadrants; the railroad promoted residential construction in the west quadrant as well (Hinson and Tompkins, 1975; Buffalo, December 1986). Development of the north quadrant, however, in which the proposed historic district is located, awaited the last quarter of the nineteenth century.

In 1867 David Alexander Atwell (1837-1922) built his Greek Revival style residence, the earliest surviving building in the district, at 416 West Kerr Street (#14). Atwell was the owner of one of the biggest hardware stores in western North Carolina and was among the city's wealthiest and most prominent citizens (Brawley 1953:229-230; Hood 1983:313; Hood n.d., Atwell Family House file). By 1882 Atwell's house had been joined within the proposed district by six other dwellings and the Italianate style, cruciform-plan Salisbury Graded School (#1), which opened in 1881 (Hood 1983:336; Hood n.d., Salisbury Graded School file). The character of the district was gracious. Three of the houses occupied lots which measured a square city block in size; the others occupied lots almost half a square block in extent (Gray's Map of 1882). The nearly identical, Italianate style Lunn-Feamster and Payne-Rice houses at 420 and 428 North Ellis Street (#3 and #4)--probably built in the late 1870s--still survive, as does the former graded school (Hood 1983:327-328; Hood n.d., Lunn-Feamster and Payne-Rice Houses file). A bridge on Ellis Street crossing the railroad tracks provided access to the school from the Payne-Rice and Lunn-Feamster houses and the few other dwellings northeast of the tracks.

D. A. Atwell added two houses within the bounds of the district in the 1890s. In 1891, following the death of his first wife, he married Sarah E. Bostian and built a large Queen Anne/Eastlake style house for her at 404 West Kerr Street (#16) adjacent to his previous residence (Hood 1983:312; Hood n.d., David Alexander Atwell House file). Near the close of the decade he erected an Italianate/Queen Anne style house across the street at 409 North Fulton Street (#23) for his daughter, Annie, and her husband, John L. Rendleman (Hood 1983:335; Hood n.d., John L. Rendleman House file).

As Salisbury grew during the early twentieth century, so did the district. By 1903 the square-block estates had been divided into halves or quarters (Miller Map of Salisbury of 1903). The addition in 1904 of the massive, crenelated Ellis Street High School (demolished in 1967) to the southwest arm of the graded school responded to residential growth in the city's north quadrant and promoted further residential development within and around the proposed district. Early in the century, to the northeast, northwest, and southwest of the school, a number of L-plan, gable-end, and hip-roofed houses, all small and one-story tall, were constructed; in the teens and twenties they were joined by bungalows.

To the southeast of the new high school, larger and finer dwellings were constructed. At 301 (#5), 305 (#6), 309 (#7), and 313 (#8) North Ellis Street, directly across from the high school, four similarly fashioned, two-story, Tudor Revival style houses were erected between 1907 and 1913. A house around the corner at 418 West Liberty (#13) also has much the same appearance (Sanborn Map Company maps 1907 and 1913). Between 1913 and 1922 the four one- and two-story, bungalow and Craftsman style houses at 317 (#9), 321 (#10), 325 (#11), and 329 (#12) North Ellis Street

filled in the remaining empty lots across from the school (Sanborn Map Company maps 1907 and 1913).

Five substantial, two-story houses were also built around this time one block southeast. The Colonial Revival style dwelling at 324 North Fulton (#18) was erected between 1913 and 1922. Between 1922 and 1931 a second Colonial Revival style dwelling was built at 317 North Fulton (#20), along with a Tudor Revival style house at 318 North Fulton (#17) and a Craftsman/Period Revival style house at 416 North Fulton (#19). In the 1930s the district's final historic property, a Tudor Revival style dwelling, rose at 331 North Fulton (#21).

### Architecture

The proposed North Ellis-North Fulton Street Historic District's resources include excellent representatives of a variety of architectural styles popular from the late 1860s through the 1930s. The Greek Revival style, traditionally fashioned I-house of D. A. Atwell (1867) at 416 West Kerr Street (#14) is one of the earliest surviving residences in the north quadrant of the city. The Italianate style detailing of the matching Lunn-Feamster and Payne-Rice houses (#3 and #4) (late 1870s) is notable, particularly the molded, arch-headed openings and triangular-hooded surrounds of both houses and the bracketed, chamfered porch posts of the latter dwelling. The spacious, Queen Anne style, second D. A. Atwell House (#16) (ca. 1891) is clad in striking molded weatherboards. Its fine late nineteenth-century ornament includes a bracketed wraparound porch accented with a balustrade and spindled frieze, and clipped front and side gables finished with applied, Eastlake style stickwork. The traditional two-story, one-room-deep form of the first Atwell house and the Italianate and Queen Anne styles come together at the John L. Rendleman House (#23) (late 1890s), which features bracketed surrounds and turned porch posts spanned by a geometric balustrade. The former Salisbury Graded School (#1) is also significant for its Italianate architecture, worked in brick with pilasters and long recessed windows.

Handsome examples of early twentieth architecture survive in the district as well. The generally substantial houses erected on North Ellis, West Liberty, and North Fulton streets during the first four decades of the century include excellent representatives of the Colonial, Tudor, bungalow, and Craftsman styles. The five Tudor Revival style houses on North Ellis and West Liberty, variants on the same basic design, are particularly noteworthy.

The properties within the district are generally large, little-altered, and in good condition. They were the homes of middle- and upper-middle-class individuals. This sets them off from the smaller, much-changed, less well-maintained, early twentieth-century cottages and bungalows which are interspersed amidst the modern buildings and vacant lots outside of the proposed district boundaries. These were generally occupied by lower-middle and working-class individuals. The quality and variety of the district's architecture and its high percentage of contributing resources, place it on equal footing with Salisbury's eight National Register-listed historic districts.

## Inventory List

### Former Salisbury Graded School (#1) - 314 North Ellis Street (Plates VII.1 to VII.4) (3 contributing buildings)

The main block of the former Salisbury Graded School was completed in 1881. Built of brick in the shape of a cross, it is one of the earlier surviving, substantial public school buildings in the state. The building's Italianate style features include raised segmental-arched lintels and pilasters. The main block of the former Salisbury Graded School was completed in 1881. Built of brick in the shape of a cross, it is one of the earliest surviving, substantial public school buildings in the state. Between 1896 and 1902, a square, brick, hip-roofed bathroom building was erected just beyond the rear arm of the cross. About 1902, a wing was added to the school's northwest rear. A large crenelated high school was attached to the school's southwest arm two years later. In 1922 a brick wing was added to the southwest of the high school, at West Liberty Street, which largely matched the style of the original building. Although, the high school was demolished in 1967, the original school building, the bathroom building, and the West Liberty Street wing are all still intact and contribute to the district. In addition, there are five modern storage buildings to the northwest of the school buildings which have been excluded from the district (Hood 1983:336; Hood n.d., Salisbury Graded School file; Sanborn Map Company maps 1896, 1902, 1907, 1913).

### Ellis Street Bridge (#2) (Plates VII.5 and VII.6) (1 non-contributing structure)

A bridge was built across the tracks of the Western North Carolina Railroad between 1855, when the line was established, and 1882, when a bridge appeared on the first detailed map of the city (Gray's Map of 1882). The present structure consists of a timbered floor on timber joist and I-beam spans, which in turn rest on a timbered substructure. The bridge, which is 102 feet long and 25 to 35 feet wide, also consists of one concrete abutment. The bridge appears to have been completely replaced in the 1940s or 1950s and has probably been substantially renovated over the years. Therefore, it does not contribute to the district.

### Lunn-Feamster House (#3) - 420 North Ellis Street (Plates VII.7 and VII.8) (2 contributing buildings)

L. L. Lunn erected this T-plan, two-story, Italianate style house in the late 1870s. It is virtually identical to the house built next door for Lunn's business partner, R. M. Payne. The weatherboarded dwelling has been little altered, retaining such handsome Italianate style features as bracketed, chamfered porch posts and molded, arch-headed openings with triangular-hooded surrounds. Both the house and its weatherboarded, frame garage contribute to the district (Hood 1983:327-328; Hood n.d., Lunn-Feamster and Payne-Rice Houses file).

### Payne-Rice House (#4) - 428 North Ellis Street (Plates VII.9 and VII.10) (2 contributing buildings)

R. M. Payne erected this T-plan, two-story, Italianate style house in the late 1870s. It is virtually identical to the neighboring, contemporary house of L. L. Lunn, his partner in the tobacco business. The weatherboarded dwelling has been little altered, retaining such handsome Italianate style features as molded, arch-headed openings and triangular-hooded surrounds. Its early twentieth-century porch of square wooden columns on brick piers is not original but does not adversely effect its architectural integrity. Both the house and its weatherboarded, frame greenhouse contribute to the district (Hood 1983:327-328; Hood n.d., Lunn-Feamster and Payne-Rice Houses file).



Plate VII.1  
Former Salisbury  
Graded School,  
314 North  
Ellis Street  
(1881 Block) (#1)

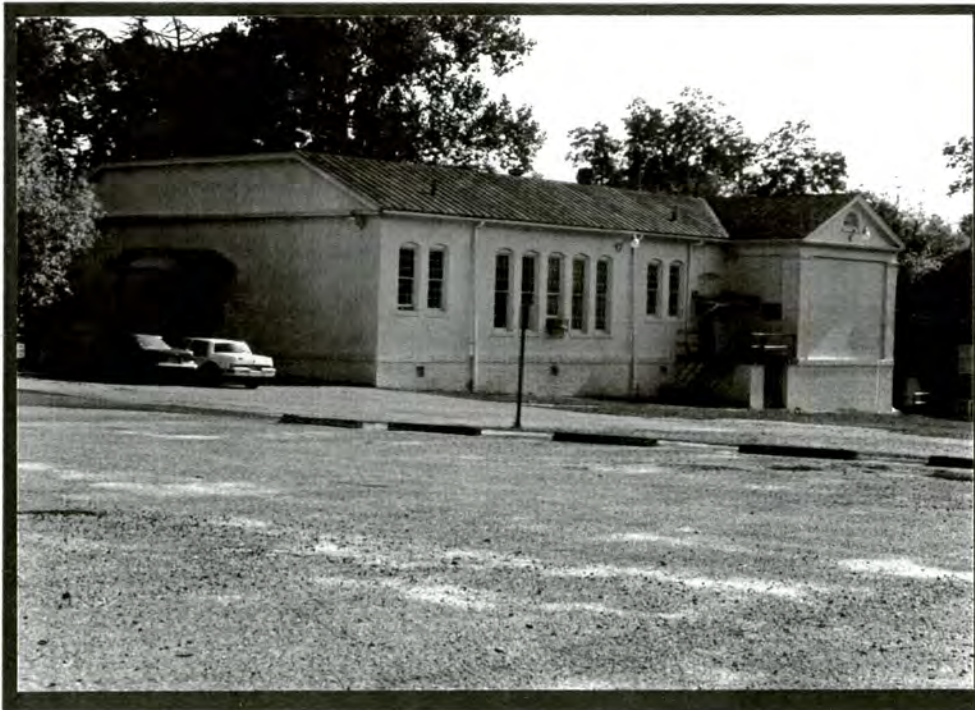


Plate VII.2  
Former Salisbury  
Graded School,  
314 North  
Ellis Street  
(1881 Block) (#1)



Plate VII.3  
Former Salisbury  
Graded School,  
314 North  
Ellis Street  
(1881 Block with  
Bathroom Building  
at Left) (#1)

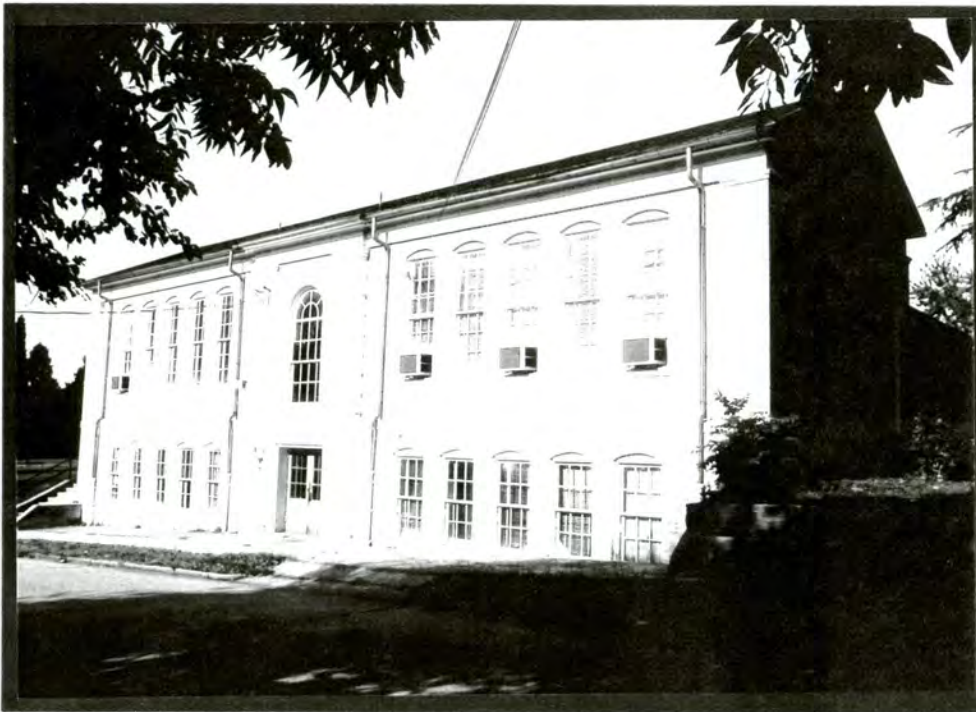


Plate VII.4  
Former Salisbury  
Graded School,  
314 North  
Ellis Street  
(1922 Block) (#1)



Plate VII.5  
Ellis Street  
Bridge (#2)



Plate VII.6  
Ellis Street  
Bridge (#2)



Plate VII.7  
Lunn-Feamster  
House, 420 North  
Ellis Street (#3)



Plate VII.8  
Lunn-Feamster  
House, 420 North  
Ellis Street (#3)



Plate VII.9  
Payne-Rice,  
House, 428 North  
Ellis Street (#4)



Plate VII.10  
Payne-Rice,  
House, 428 North  
Ellis Street (#4)



301 North Ellis Street (#5) (Plate VII.11)  
(1 contributing building)

This two-story, frame, Tudor Revival style house was built between 1907 and 1913. It features a recessed corner entry, triangular knee-braces, and cross gables and dormers accented with pendants. Aluminum sided at its first story, it retains stucco, half-timbering, and shingles at its second story and gables. Little altered with the exception of its first-story siding, it contributes to the district, particularly when viewed with its almost identical neighbors at 305, 309, and 313 North Ellis Street, which must have been built contemporaneously (Sanborn Map Company maps 1907 and 1913).

305 North Ellis Street (#6) (Plate VII.12)  
(1 contributing building)

This two-story, frame, Tudor Revival style house was built between 1907 and 1913. It features a recessed corner entry, triangular knee-braces, and cross gables and dormers accented with pendants and a king post truss. Aluminum sided at its first-story and side second-story elevations, it retains stucco and half-timbering at its gables and dormers. Little altered with the exception of its siding, it contributes to the district, particularly when viewed with its almost identical neighbors at 301, 309, and 313 North Ellis Street, which must have been built contemporaneously (Sanborn Map Company maps 1907 and 1913).

309 North Ellis Street (#7) (Plate VII.13)  
(1 contributing building)

This two-story, frame, Tudor Revival style house was built between 1907 and 1913. It features a recessed corner entry, triangular knee-braces, and a front gable accented with a king post truss. Aluminum sided at its first-story and side second-story elevations, it retains stucco and half-timbering at its gables and dormers. Little altered with the exception of its siding, it contributes to the district, particularly when viewed with its almost identical neighbors at 301, 305, and 313 North Ellis Street, which must have been built contemporaneously (Sanborn Map Company maps 1907 and 1913).

313 North Ellis Street (#8) (Plate VII.14)  
(1 contributing building)

This two-story, frame, Tudor Revival style house was built between 1907 and 1913. It features a recessed corner entry, triangular knee-braces, and cross gables and dormers accented by pendants. Vinyl sided at its first-story and side second-story elevations, it retains stucco and half-timbering at its gables and dormers. Little altered with the exception of its siding, it contributes to the district, particularly when viewed with its almost identical neighbors at 301, 305, and 309 North Ellis Street, which must have been built contemporaneously (Sanborn Map Company maps 1907 and 1913).

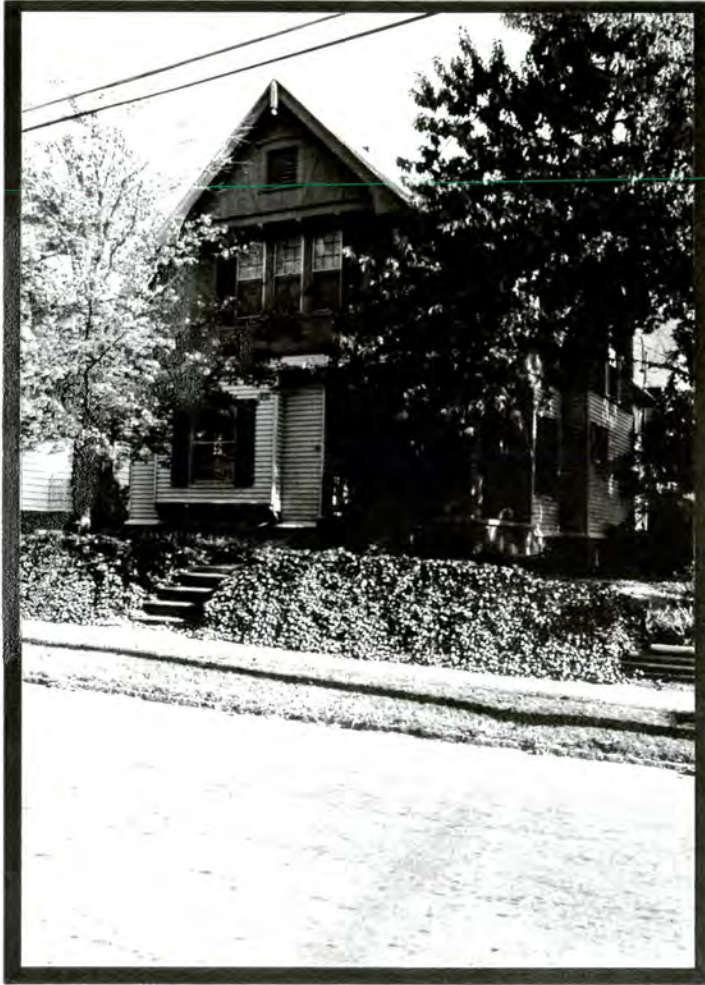


Plate VII.11  
301 North  
Ellis Street  
(#5)



Plate VII.12  
305 North  
Ellis Street  
(#6)



Plate VII.13  
309 North  
Ellis Street (#7)



Plate VII.14  
313 North  
Ellis Street (#8)

317 North Ellis Street (#9) (Plate VII.15)  
(1 contributing building)

Built between 1913 and 1922, this one-and-a-half-story bungalow features a gable-front dormer; an engaged, shed-roofed, Craftsman style porch supported by tapered wooden columns on granite piers; altered one-over-one windows; and vinyl German siding. It contributes to the district, particularly when viewed as part of the row of well-maintained, early twentieth-century houses that line the 300 block of North Ellis Street across from the former Salisbury Graded School.

321 North Ellis Street (#10) (Plate VII.16)  
(2 contributing buildings)

Built between 1913 and 1922, this two-story, gable-front, Craftsman style residence features triangular knee-braces; a Craftsman porch of attenuated posts on brick piers extending out to a porte cochere; altered one-over-one windows; and wide vinyl siding. It contributes to the district, particularly when viewed as part of the row of well-maintained, early twentieth-century houses that line the 300 block of North Ellis Street across from the former Salisbury Graded School. The weatherboarded, frame garage to its rear also contributes to the district.

325 North Ellis Street (#11) (Plate VII.17)  
(1 contributing building; 1 non-contributing building)

This bungalow, built between 1913 and 1922, is almost identical to its neighbor and contemporary at 329 North Ellis Street. One-story tall, it features an engaged Craftsman style porch of tapered posts on brick piers; shaped brackets at its front gable; altered one-over-one windows; and aluminum siding. It contributes to the district, particularly when viewed as part of the row of well-maintained, early twentieth-century houses that line the 300 block of North Ellis Street across from the former Salisbury Graded School. The modern concrete block garage to its rear does not contribute to the district.

329 North Ellis Street (#12) (Plate VII.18)  
(2 contributing buildings)

This bungalow, built between 1913 and 1922, is almost identical to its neighbor and contemporary at 325 North Ellis Street. One-story tall, it features an engaged Craftsman style porch of tapered posts on brick piers; shaped brackets and shingles at its front gable; altered one-over-one windows; and aluminum siding. It contributes to the district, particularly when viewed as part of the row of well-maintained, early twentieth-century houses that line the 300 block of North Ellis Street across from the former Salisbury Graded School. The weatherboarded, frame garage to its rear also contributes to the district.



Plate VII.15  
317 North  
Ellis Street (#9)



Plate VII.16  
321 North  
Ellis Street (#10)



Plate VII.17  
325 North  
Ellis Street (#11)



Plate VII.18  
329 North  
Ellis Street (#12)

418 West Liberty Street (#13) (Plate VII.19)  
(1 contributing building)

This two-story, weatherboarded, Craftsman/Colonial Revival style house was built between 1907 and 1913. It features a recessed corner entry, triangular knee-braces, and a wraparound Colonial Revival style porch supported by attenuated columns. Although larger and lacking half-timbering, it resembles in many particulars the contemporary Tudor Revival style houses around the corner at 301, 305, 309, and 313 North Ellis Street. Little altered, it contributes to the district (Sanborn Map Company maps 1907 and 1913).

David A. Atwell House I (#14) - 416 West Kerr Street (Plates VII.20 and VII.21)  
(2 contributing buildings)

This two-story, one-room-deep, gable-end, frame house was constructed for David Alexander Atwell and his wife, Margaret H. Woodson, in 1867. It is the oldest building in the district. Extending from its traditional I-house form are a center-bay, two-tier front porch and two one-story rear ells. The Craftsman style tapered posts and brick piers of its porch's first story were added in the early twentieth century; its aluminum siding is less than fifteen years old. Inside, it is said to retain simple Greek Revival style woodwork. Because of its age, form, and many intact features, it contributes to the district, as does the weatherboarded, frame garage to its rear (Hood 1983:313; Hood n.d., Atwell Family House file).

406-408 West Kerr Street (#15) (Plate VII.22)  
(2 contributing buildings; 1 non-contributing buildings)

Built since 1951, this one-story, hip-roofed, brick-veneered duplex does not contribute to the district (Sanborn Map Company maps 1951). The two weatherboarded, frame garages to its rear, which predate it, do contribute to the district.

David A. Atwell House II (#16) - 404 West Kerr Street (Plates VII.23 and VII.24)  
(2 contributing buildings)

This large, two-story, Queen Anne/Eastlake style house was built for David A. Atwell and his second wife, Elizabeth Bostian, around the time of their marriage in 1891. By that date, Atwell was a wealthy hardware merchant and one of Salisbury's most prominent citizens. Its fine, intact finish includes unusual molded weatherboards; a wraparound porch with bracketed turned posts connected by a balustrade and spindled frieze; a polygonal side bay; and clipped front and side gables finished with applied, Eastlake style stickwork. Victorian woodwork adorns its first-floor interior. A large, handsome, intact example of the Queen Anne and Eastlake styles, the house contributes to the district, as does the weatherboarded, frame garage to its rear (Brawley 1953:229-230; Hood 1983:313; Hood n.d., Atwell Family House file).



Plate VII.19  
418 West Liberty  
Street (#13)





Plate VII.20  
David A. Atwell  
House I,  
416 West  
Kerr Street (#14)



Plate VII.21  
David A. Atwell  
House I,  
416 West  
Kerr Street (#14)



Plate VII.22  
406-408 West  
Kerr Street (#15)



Plate VII.23  
David A. Atwell  
House II,  
404 West  
Kerr Street (#16)



Plate VII.24  
David A. Atwell  
House II,  
404 West  
Kerr Street (#16)

318 North Fulton Street (#17) (Plate VII.25)  
(2 contributing buildings)

This intact Tudor Revival style house features a projecting central pavilion, a brick-veneered first story, and a stuccoed and half-timbered second-story. It was built between 1922 and 1931, as was the half-timbered, one-and-a-half-story garage to its rear. Both buildings contribute to the district (Sanborn Map Company maps 1913 and 1922).

324 North Fulton Street (#18) (Plate VII.26)  
(2 contributing buildings)

The Colonial Revival style features of this large, two-story, weatherboarded dwelling, which was built between 1913 and 1922, include a one-bay Ionic portico and matching Ionic sunroom; eaves and pedimented end gables underpinned by dentils; and three pedimented front dormers. A long, two-story ell projects to its rear, behind which is a frame, weatherboarded, hip-roofed garage. Both house and garage contribute to the district (Sanborn Map Company maps 1913 and 1922).

416 North Fulton Street (#19) (Plate VII.27)  
(1 contributing building)

The gable-end roof of this Craftsman/Period Revival style house is steeply pitched and punctuated by triangular knee-braces. A shed dormer crosses its front; a shed dormer also pierces the full-height rear ell. A one-bay portico shades the principal entrance of the brick-veneered first story. Built between 1922 and 1931, the house contributes to the district (Sanborn Map Company maps 1922 and 1931).

317 North Fulton Street (#20) (Plate VII.28)  
(1 contributing building)

Fluted Doric columns mark the front portico and side porches of this two-story, brick-veneered, Colonial Revival style house, which was erected between 1922 and 1931. A Palladian window arrangement marks the bay above the portico. Three facade gables pierce the slate shingled roof. The house contributes to the district (Sanborn Map Company maps 1922 and 1931).

331 North Fulton Street (#21) (Plate VII.29)  
(1 contributing building)

Multiple dormers and gables, a sweeping slate roof, a label-molded entry lintel, and false dovecotes are among the Tudor Revival style features of this two-story, brick-veneered dwelling. Built in the 1930s, it contributes to the district.

Fulton Masonic Lodge Number 99 (#22) - 401 North Fulton Street (Plate VII.30)  
(1 non-contributing building)

Flat roofs top the cubical components of this brick Masonic lodge. Built in 1954, it does not contribute to the district.



Plate VII.25  
318 North  
Fulton Street (#17)



Plate VII.26  
324 North  
Fulton Street (#18)



Plate VII.27  
416 North  
Fulton Street (#19)



Plate VII.28  
317 North  
Fulton Street (#20)



Plate VII.29  
331 North  
Fulton Street (#21)



Plate VII.30  
401 North  
Fulton Street (#22)

John L. Rendleman House (#23) - 409 North Fulton Street (Plates VII.31 and VII.32)  
(1 contributing building)

According to family tradition, David A. Atwell built this Italianate/Queen Anne style house in the late 1890s for his daughter, Annie, and her husband, John L. Rendleman. Utilizing a traditional two-story-tall, one-room-deep form, it features a projecting central pavilion; small brackets at its surrounds; and a porch of turned, bracketed posts connected by a geometric balustrade. A neatly finished, intact example of a traditionally formed, Italianate/Queen Ann style dwelling, this house contributes to the integrity of the district (Hood 1983:335; Hood n.d., John L. Rendleman House File).





Plate VII.31  
John L. Rendleman  
House, 409 North  
Fulton Street (#23)



Plate VII.32  
John L. Rendleman  
House, 409 North  
Fulton Street (#23)

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## SUMMARY OF THE ARCHITECTURAL RESOURCES SURVEY

A survey of historic architectural resources was conducted within the Area of Potential Effect (APE) of the Ellis Street bridge replacement. The APE was determined in consultation with the City of Salisbury, NCDOT, FHWA, and Greiner, Inc. to be a rectangle, centered on the bridge, bounded by West Franklin, North Craige, West Liberty, and North Jackson Streets. The boundary was determined in accordance with a requirement that the new bridge, which is to be built with federal funds, must be located in close proximity to the present structure.

A North Carolina Multiple Structures Form or "green form" was completed for every street within the APE. A brief description was written and a photograph taken of every resource within the APE, regardless of age. Additionally, a new North Carolina Historic Structure Short Data Sheet or "yellow form" was completed for the six buildings within the APE previously inventoried in the mid 1970s. Multiple photographs were taken of each property recorded on a yellow form.

It was determined that there is a potential historic district--the proposed North Ellis-North Fulton Street Historic District--within the APE. The district contains thirty-two contributing buildings, three non-contributing buildings, and one non-contributing structure. No other properties within the APE appear to be eligible for the National Register under any Criteria.

APPENDIX A  
SCOPE OF WORK

**Historic Architectural Survey**  
**Scope of Work**

The scope of work for conducting an historic architectural survey in support of the replacement of the Ellis Street Bridge is pursuant to the National Historic Preservation Act of 1966, as amended, the Advisory Council on Historic Preservation regulations on the "Protection of Historic Properties" (36 CFR 800), and Department of Transportation regulations and procedures (23 CFR 771 and Technical Advisory T 6640.8A).

The purpose of the historic architectural survey will be to examine buildings, structures, and cultural landscapes of potential architectural and/or historic significance that may be affected by the proposed bridge replacement. The survey will be conducted through the implementation of the following tasks.

Preliminary data collection will involve an examination of published historical and architectural works, files of the North Carolina State Historic Preservation Office (SHPO), other surveys, historic maps, and photographs. Primary resources including local records and pertinent collections on file with the Historic Salisbury Foundation will also be consulted. Interviews with local historians and knowledgeable citizens will be conducted. The Rowan County survey publication will be a major source of information on historic resources within the City of Salisbury.

A reconnaissance survey will be conducted and will be the basis for determining the initial area of potential affect (APE). The field survey will involve an examination of all properties in the APE that are fifty years of age or older, or that appear to possess historical or architectural importance even though they are less than fifty years old. These historic properties will be photographed and keyed to USGS quadrangle maps. Historic Structure Data Sheets will be completed for those properties that appear to be potentially eligible for listing on the National Register. In addition, Data Sheets for properties that were previously recorded will be updated, and boundaries of properties already listed on and/or determined eligible for the National Register will be reconsidered and revised if necessary.

Additional historical research may be required as a result of this field effort, especially to define the boundaries of newly-identified properties that may be potentially eligible for listing on the National Register. Upon the completion of fieldwork and any additional research, the Engineer will meet with the City of Salisbury and the NCDOT to review the results of this work. Based on the results of this meeting, the Engineer will finalize any evaluations on potential eligibility.

The Engineer anticipates that the APE associated with this project will contain approximately thirty-five properties fifty years or older. Based on a preliminary field inspection, the Engineer also anticipates that there may be a potentially eligible historic district as well as individually eligible properties. In addition, approximately six existing Data Sheets will need to be updated.

The results of the survey will be presented in a report to be reviewed by the City. The historic architectural survey report to be prepared under this work plan will follow the requirements of the Guidelines for the Preparation of Reports of Historic Structures Surveys and Evaluations Submitted to the North Carolina State Historic Preservation Office (Survey and Planning Branch 1989).

During Phase II of the planning study, the Engineer will develop formal documentation to evaluate the effects of the reasonable and feasible alternatives developed in Section I.C.2 below on historic resources.

It should be noted that this work plan does not include (a) formal "Requests for Determination of Eligibility" (DOE) if required due to disagreement between the FHWA and the SHPO as to the eligibility of a property for the National Register, or as a result of a request by an interested party necessitating submission of a formal DOE to the Secretary of the Interior, (b) a formal Section 4(f) statement on historic properties, or (c) memoranda of agreement.